

AGENDA



ARCHITECTURAL REVIEW BOARD MEETING
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS
AUGUST 15, 2023 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = *RED*

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) ACTION AGENDA

(1) **SP2023-022 (BETHANY ROSS)**

Discuss and consider a request by Hind Saad of RSG Engineering on behalf of Roy Bhavi of FlexSpace Business Parks, LLC for the approval of a Site Plan for a *warehouse/office* development on a 6.17-acre tract of land identified as Tract 2-01 of the D. Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1760 Airport Road, and take any action necessary.

(2) **SP2023-024 (HENRY LEE)**

Discuss and consider a request by David Lindsay of Tri-Tex Construction Inc. for the approval of a Site Plan for an *office building* on a 1.50-acre tract of land identified as Tract 8-3 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 955 Sids Road, and take any action necessary.

(IV) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on August 11, 2023 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



CITY OF ROCKWALL
PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT
385 S. GOLIAD STREET • ROCKWALL, TX 75087
PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 15, 2023
APPLICANT: Hind Saad; RSG Engineering
CASE NUMBER: SP2023-022; *Site Plan for 1760 Airport Road*

SUMMARY

Discuss and consider a request by Hind Saad of RSG Engineering on behalf of Roy Bhavi of FlexSpace Business Parks, LLC for the approval of a Site Plan for a *warehouse/office* development on a 6.17-acre tract of land identified as Tract 2-01 of the D. Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the Airport Overlay (AP OV) District, addressed as 1760 Airport Road, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on March 16, 1998 by *Ordinance No. 98-10 [Case No. A1998-001]*. The subject property has been vacant since annexation. On April 3, 2023, the City Council approved a Zoning Change [Case No. Z2023-010] from Agriculture (AG) District to Light Industrial (LI) District for the subject property.

PURPOSE

On July 14, 2023, the applicant -- *Hind Saad* -- submitted an application requesting the approval of a Site Plan for seven (7) *warehouse/office* buildings.

ADJACENT LAND USES AND ACCESS

The subject property is generally located on the south side of Airport Road, east of the intersection of Airport Road and John King Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Airport Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of Airport Road is: [1] a 5.68-acre tract of vacant land (*i.e. Tract 21 of the D. Harr Survey, Abstract No. 102*); [2] a one (1) acre tract of land (*i.e. Tract 21-01 of the D. Harr Survey, Abstract No. 102*) with a single-family home situated on it; [3] a 12.00-acre tract of vacant land; and [4] a 43.66-acre tract of land with a single-family home situated on it. All of these properties are zoned Agricultural (AG) District. Beyond this is SH-66, which is identified as a *TXDOT4D (i.e. a Texas Department of Transportation [TXDOT], four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is the right-of-way for the *Union Pacific Dallas/Garland Northeast Railroad*. Beyond this is a vacant 4.114-acre tract of land (*i.e. which is part of a larger 10.291-acre tract of land and is identified as Tract 2-9, of the D Harr. Survey, Abstract No. 102*). Beyond this is a vacant two (2) acre tract of land (*i.e. Tract 2-5, of the D. Harr Survey, Abstract 102*). Both of these properties are zoned Agricultural (AG) District. Beyond that is an 18.5175-acre vacant tract of land (*i.e. Tract 3-5, of the J Lockhart Survey, Abstract 134*) zoned Light Industrial (LI) District and Commercial (C) District.

East: Directly east of the subject property is a 5.477-acre vacant tract of land (i.e. *Tract 2 of the D. Harr Survey, Abstract No. 102*), zoned Agricultural (AG) District. East of this is a 16.89-acre tract of land (i.e. *Tract 4 of the D.Harr Survey, Abstract No. 102*), which was rezoned to Light Industrial (LI) District in 2021. A site plan was approved for this property in 2021 allowing a *warehouse/distribution center* to be constructed on it.

West: Directly west of the subject property is a 5.784-acre tract of vacant land (i.e. *Tract 2-03 of the D. Harr Survey, Abstract No. 102*), which is zoned Agriculture (AG) District. West of this is a vacant 5.07-acre tract of vacant land (i.e. *Tract 2-06 of the D. Harr Survey, Abstract No. 34*) also zoned Agricultural (AG) District. Beyond this is S. John King Boulevard, which is identified as a *P6D (i.e. a principal arterial, six [6] lane, divided roadway)* on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Warehouse/Distribution Center* and an *Office Building 5,000 SF or Greater* are permitted *by-right* land uses in a Light Industrial (LI) District. The submitted site plan, landscape plan, photometric plan, building elevations, and phasing plan generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District with the exception of the items noted in the *Variations and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	X=6.18-Acres; In Conformance
<i>Minimum Lot Frontage</i>	100-Feet	X= 332-Feet; In Conformance
<i>Minimum Lot Depth</i>	125-Feet	X=729-Feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	X>25-Feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-Feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-Feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=27-Feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=31.6%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space per 300 SF for Office and 1 Parking Space per 1,000 SF for Warehouse (109 Total Required)	X=110; In Conformance
<i>Minimum Landscaping Percentage</i>	15%	X=15.3%; In Conformance
<i>Maximum Impervious Coverage</i>	90-95%	X=76.46%; In Conformance

TREESCAPE PLAN

No trees are being removed from the subject property. Based on this, no *Treescape Plan* is required.

CONFORMANCE WITH THE CITY’S CODES

The applicant is requesting to construct seven (7) *warehouse/office buildings* on the subject property. According to Subsection 02.02(J)(7), *Wholesale, Distribution and Storage Land Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Warehouse/Distribution Center* is defined as a “... building used primarily for the storage and distribution of goods, merchandise, supplies, and equipment including wholesalers which display, sell, and distribute merchandise to business representatives for resale ...” In addition, Subsection 02.02(D)(2), *Office and Professional Uses*, of Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office Building* is defined as a “...(a) facility that provides executive, management, administrative, or professional services ... but not involving the sale of merchandise except as incidental to a permitted use. Typical examples include real estate, insurance, property management, investment, employment, travel, advertising, law, architecture, design, engineering, accounting, call centers, and similar offices.” In this case, the applicant’s request for seven (7) *warehouse/office buildings* is permitted *by-right* in a Light Industrial (LI) District as stipulated by Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

The proposed site plan generally conforms to the requirements of the *General Industrial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the exceptions being requested as outlined in the *Variations and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

Staff has identified the following exceptions:

(1) *Building Materials*.

- (a) *Stone*. According to Subsection 05.01 (A)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), a "...minimum of 20% stone (*i.e. natural or synthetic/cultured*) is required on all building façades." In this case, the applicant is proposing 20% stone on all buildings except for the rear elevations of buildings 2-7. This will require an exception from the Planning and Zoning Commission.
- (b) *Primary Materials*. According to Subsection 05.01 (A)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(e)ach exterior wall of a building's façade shall consist of a minimum of 90% Primary Materials..." or masonry material. The applicant is proposing mostly metal buildings. This will require an exception from the Planning and Zoning Commission.

(2) *Building Articulation*.

- (a) *Primary Building Facades*. According to Subsection 05.01 (C), *Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the minimum wall length shall not exceed four (4) times the wall height. In this case, the proposed buildings do not meet the projection requirements for primary building facades on all buildings. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).
- (b) *Secondary Building Facades*. According to Subsection 05.01 (C), *Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the minimum wall length shall not exceed three (3) times the wall height. In this case, the proposed buildings do not meet the projection requirements for secondary building facades on all buildings. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

- (3) *Residential Screening Standards*. According to Subsection 05.02, *Landscape Screening*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), "(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers." As an alternative the code does allow the Planning and Zoning Commission to consider the use of three (3) tiered landscaping along the adjacency. In this case, the applicant is providing three (3) tiered landscaping along the adjacency except for the area within the FAA restricted area. While this does not meet the requirements, the code does allow the Planning and Zoning Commission to grant an exception to the screening requirements.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. The applicant has indicated the following as compensatory measures: [1] plant an additional two (2) canopy trees along the east property line behind *Buildings 2 & 3*, [2] plant three (3) additional canopy trees and two (2) additional accent trees on the north side to screen the sides of *Buildings 2, 4, & 7*, [3] increasing the canopy tree caliper inch from four (4) caliper inches to five (5) caliper inches for the three (3) tiered screening areas, [4] adding a bench on the west side of *Building 1* along the landscape detention pond, [5] providing more than the required landscaping [*i.e. they are required 15.00% and are providing 15.36% or 0.36% more than required*], and [6] providing canopy trees on 40-foot centers along the

south property line. Staff should point out that they are not providing the required number of compensatory measures and that the additional landscaping being provided is nominal compared to the required landscaping percentage. In addition, the bench does not appear to directly off-set any of the requested variances; however, requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative - is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the Central District. The Central District "... is composed of a wide range of land uses that vary from single-family to industrial." In addition, the Central District "... incorporates a high volume of industrial land uses adjacent to the Union Pacific/Dallas Garland and Northeastern Rail Road line that bisects the district -- and City -- in an east/west direction." The Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan, indicates that the subject property should be developed with industrial land uses. In this case, the applicant is proposing a Warehouse/Distribution Center and Offices. Based on this, the applicant's land uses appear to conform with the Comprehensive Plan; however, Chapter 9, Non-Residential, of the OURHometown Vision 2040 Comprehensive Plan states as one of the goals of commercial building design, buildings should be "... designed and constructed in unity with the community's existing commercial and residential buildings, and should incorporate high quality materials that will minimize the need for maintenance over time." The polices to implement this goal are "... [1] (n)on-residential buildings should be constructed of masonry materials and contain a minimum of 20% stone on every façade that faces a street, public open space, trail or park. [and] [2] Non-residential buildings should be architecturally finished on all four (4) sides with the same materials, detailing and features." In this case, the applicant is requesting exceptions to building materials and building articulation requirements. These exceptions appear to conflict with the goals for non-residential buildings contained in the Comprehensive Plan. Staff should point out that a similar land use was approved on a property directly east of the subject property, which was required to meet the material requirements of the Light Industrial (LI) District, and which are called for in the Comprehensive Plan. Furthermore, the John King Boulevard Corridor Plan contained in the OURHometown Vision 2040 Comprehensive Plan, states that one of the guiding concepts of the plan is Quality and Timelessness. The plan goes on to state that "(t)he design forms for John King Boulevard should be rooted in Rockwall's strong landscape and heritage, while coexisting comfortably with new development, never looking 'dated.' High quality of materials and construction should be a defining characteristic of new enhancement projects." In this case, the applicant is requesting buildings that incorporate a majority of metal with some stone accents. These buildings will be highly visible from John King Boulevard, and do not appear to meet the intent of this corridor plan. Based on this the applicant's proposal does not appear to meet the vision of the Comprehensive Plan.

STAFF ANALYSIS

The phasing plan provided by the applicant shows Building 7 being built in the first phase; Buildings 4, 5, & 6 in the second phase; and Building 1 in the final and third phase. Staff has recommended to the applicant to provide Building 1 in the first phase as it is the building that most conforms to the Light Industrial (LI) District standards, and will provide the necessary screening for the loading docks of the remaining buildings from Airport road. Staff also recommended that the applicant remove the loading docks on Buildings 6 & 7 -- or redesign the building layout -- so that these overhead doors are properly screened from John King Boulevard (which is a major thoroughfare in the City). Staff also recommended that the applicant meet the minimum material requirements on Buildings 1, 6, & 7 as these buildings will be the most visible from the adjacent public rights-of-way and will provide screening of the internal buildings, which do not meet the material and architectural requirements of the Unified Development Code (UDC). The applicant has chosen NOT to incorporate any of staff's suggestions in the final submittal and is requesting five (5) variances and exceptions while only providing six (6) out of the ten (10) required compensatory measures. As a result, staff has included a Condition of Approval requiring that the Phasing Plan start with Building 1. With this being said, requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On July 25, 2023, the Architecture Review Board reviewed the proposed building elevations provided by the applicant on July 14, 2023 and recommended that the applicant conform closer to the Light Industrial standards of the UDC, provide parapets

on all four sides, and provide samples of the stone proposed. The applicant has provided updated elevations that will be reviewed by the Architectural Review Board (ARB) prior to the August 15, 2023 Planning and Zoning Commission meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the establishment of a *retail shopping center* and *house of worship* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) The applicant provide staff with a new phasing plan that starts with *Building 1* prior to the submittal of engineering plans.
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY
PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:
CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1760 Airport rd, Rockwall, TX 75087

SUBDIVISION A102, D Harr, Tract 2-01

LOT

BLOCK

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial

CURRENT USE Vacant

PROPOSED ZONING

PROPOSED USE Light industrial

ACREAGE 6.18

LOTS [CURRENT]

1

LOTS [PROPOSED]

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER FlexSpace Business Parks LLC

APPLICANT RSG ENGINEERING

CONTACT PERSON Roy Bhavi

CONTACT PERSON HIND SAAD

ADDRESS 835 Tillman Dr,

ADDRESS 13501 KATY FREEWAY, STE. 3180

CITY, STATE & ZIP Allen TX 75013

CITY, STATE & ZIP Houston, TX 77041

PHONE 972.674.8933

PHONE 281- 248- 6785

E-MAIL roy.bhavi@flexspacebusinessparks.co

E-MAIL hind@rsgcompanies.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Deepak Bhavi [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

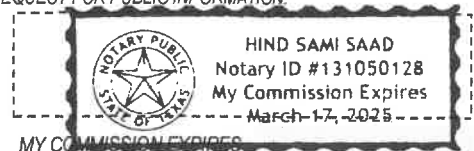
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 5370 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 30th DAY OF June, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

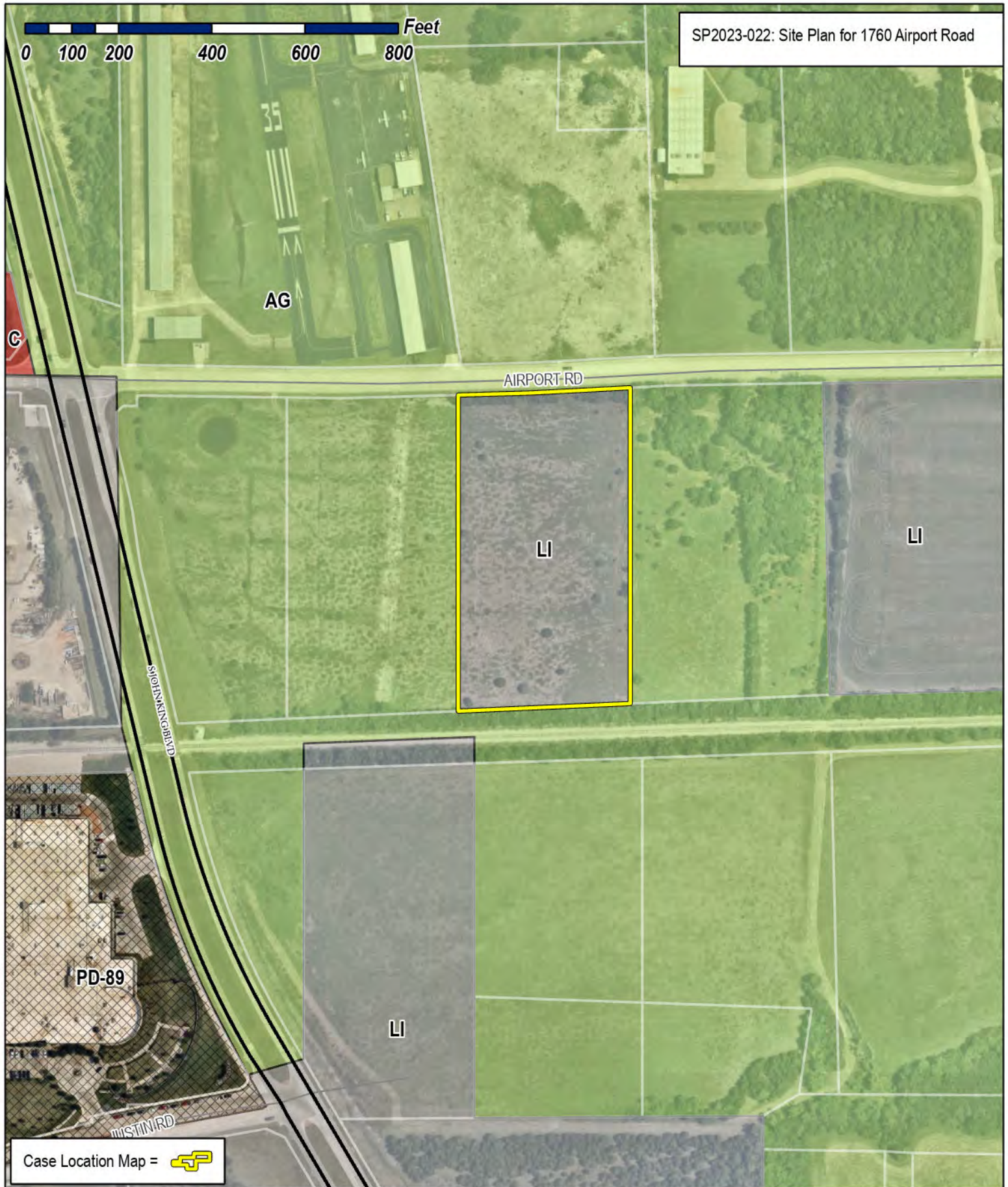
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 30th DAY OF June, 2023

OWNER'S SIGNATURE

[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



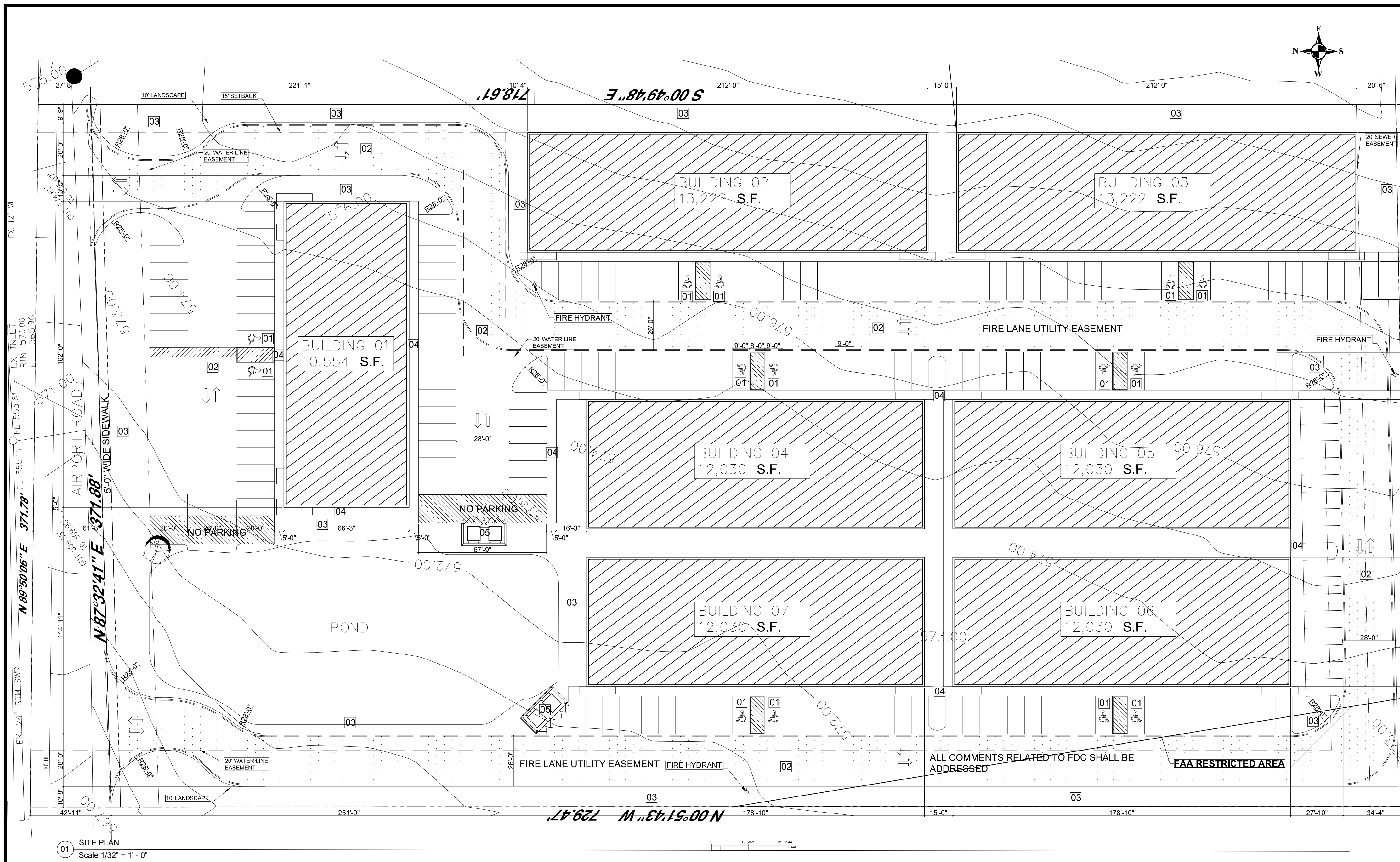


City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





ADA & TAS

FOR ADA AND TAS REQUIREMENTS SEE THE SHEETS NUMBER G 2.1, G 2.2, G 2.3 & G 2.4.
FOR GRADING AND ACCESSIBLE ROUTE RE: CIVIL

FIRE LANE NOTES

- CURBS LOCATED BETWEEN APPROVED FIRE LANE - TOW-AWAY ZONE SIGNS SHALL BE PAINTED RED OR A RED STRIPE SHALL BE PLACED ALONG THE PAVEMENT WHERE THERE IS NO CURB. THESE CURBS SHALL ALSO BE CONSPICUOUSLY AND LEGIBLY MARKED WITH THE WARNING "FIRE LANE - TOW AWAY ZONE" IN WHITE LETTERS AT LEAST THREE (3) INCHES IN HEIGHT, AT INTERVALS NOT EXCEEDING FIFTY (50) FEET.
- ANY COLOR OTHER THAN RED MAY BE USED IN "NO PARKING" AREAS THAT ARE NOT APPROVED FIRE LANES. RED COLOR CURBS, PAVEMENT STRIPING OR WHEEL STOPS SHALL BE USED ONLY TO DESIGNATED APPROVED FIRE LANES EXCEPT WHERE AUTHORIZED BY THE CODE OFFICIAL.
- WHERE FIRE LANE SIGNS ARE REQUIRED, AN APPROVED TOW-AWAY ZONE SIGN SHALL BE ATTACHED TO THE SAME POLE OR COLUMN, IMMEDIATELY BELOW AND AT THE SAME ANGLE OF ATTACHMENT AS THE FIRE LANE SIGN.
- HEIGHT OF THE SIGNS SHALL BE NOT LESS THAN 6 FEET OR MORE THAN 7 FEET ABOVE THE GROUND, AS MEASURED FROM THE BOTTOM EDGE OF THE LOWER SIGN.
- FIRE LANE SIGNS SHALL BE PLACED NO LOWER THAN 6 FEET AND NO HIGHER THAN 7 FEET ABOVE THE GROUND, AS MEASURED FROM THE BOTTOM EDGE OF THE ACCESS ROAD SIGN.
- ALL REQUIRED FIRE LANES SHALL BE PROVIDED AND MAINTAINED WITH FIRE LANE STRIPING THAT CONSISTS OF A MINIMUM SIX INCH (6") WIDE RED BACKGROUND STRIPE WITH FOUR INCH (4") HIGH WHITE LETTERS STATING "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.
- FIRE LANE MARKINGS SHALL BE PLACED UPON THE VERTICAL SURFACE OF CURBS.
- FIRE LANE -TOW-AWAY ZONE SIGNS SHALL NOT BE LOCATED MORE THAN 100 FEET APART.
- ON CURBLESS DRIVEWAYS, THE DESIGN SHALL BE A TWELVE INCH (12") WIDE RED BACKGROUND STRIPE WITH SIX INCH (6") HIGH WHITE LETTERS STATING "FIRE LANE NO PARKING TOW-AWAY ZONE" TO BE PAINTED UPON THE RED STRIPE EVERY TWENTY FEET (20') ALONG THE ENTIRE LENGTH OF THE FIRE LANE SHOWING THE EXACT BOUNDARY OF THE FIRE LANE.

FIRE LANE

FIRE LANE
PAINT DESIGNATED CURBS WITH TRAFFIC PAINT "FIRE ENGINE RED" FACE & TOP OF CURB OR A STRIPE SHALL BE PAINT ALONG THE PAVEMENT WHERE THERE IS NO CURB. THESE CURBS AND STRIPES SHALL ALSO BE CONSPICUOUSLY AND LEGIBLY MARKED W/ THE WARNING "FIRE LANE TOW AWAY ZONE" IN WHITE COLOR. USE STENCIL W/ 4" HIGH X 3/4" THICK LETTERS @ 20'-0" O.C.

NOTE PARKING

- NOTE 1:
ACCESSIBLE PARKING SPACES AND ACCESS AISLES MUST BE LEVEL-NOT EXCEEDING 1:48 CROSS SLOPES IN ANY DIRECTION. THE WALKWAY TO THE ACCESSIBLE ENTRANCES DOES NOT HAVE CROSS SLOPES.
402.2 COMPONENTS: ACCESSIBLE ROUTES SHALL CONSIST OF ONE OR MORE OF THE FOLLOWING COMPONENTS: WALKING SURFACES WITH A RUNNING SLOPE NOT STEEPER THAN 1:20. DOORWAYS, RAMPS, CURB RAMPS EXCLUDING THE FLARED SIDES, ELEVATORS, AND PLATFORM ALL COMPONENTS OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF CHAPTER 4.
403.3 SLOPE: THE RUNNING SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE OF WALKING SURFACES SHALL NOT BE STEEPER THAN 1:48.
502.4 FLOOR OR GROUND SURFACES: PARKING SPACES AND ACCESS AISLES SERVING THEM SHALL COMPLY WITH 302. ACCESS AISLES SHALL BE AT THE SAME LEVEL AS THE PARKING SPACES THEY LIFTS. CHANGES IN LEVEL ARE NOT PERMITTED.
- NOTE 2:
THE AREA REQUIRED FOR MANEUVERING CLEARANCE AT ACCESSIBLE EXTERIOR ENTRY DOORS MUST BE LEVEL (DOES NOT EXCEED 1:48 SLOPE IN ANY DIRECTION).
404.2.4 MANEUVERING CLEARANCES: MINIMUM MANEUVERING CLEARANCES AT DOORS AND GATES SHALL COMPLY WITH 404.2.4. MANEUVERING CLEARANCES SHALL EXTEND THE FULL WIDTH OF THE DOORWAY AND THE REQUIRED LATCH SIDE OR HINGE SIDE CLEARANCE.
404.2.4.4 FLOOR OR GROUND SURFACE: FLOOR OR GROUND SURFACE WITHIN REQUIRED MANEUVERING CLEARANCES SHALL COMPLY WITH 302. CHANGES IN LEVEL ARE NOT PERMITTED.
EXCEPTIONS: 1. SLOPES NOT STEEPER THAN 1:48 SHALL BE PERMITTED. 2. CHANGES IN LEVEL AT THRESHOLDS COMPLYING WITH 404.2.5 SHALL BE PERMITTED.

PARKING REQUIREMENT

WAREHOUSE TOTAL AREA: 85,118 SF
OFFICES: 9,852 / 300 : 33 SPACES
WAREHOUSE: 75,266 / 1,000: 76 SPACES

TOTAL REQUIRED	109
TOTAL PROVIDED	110
INCLUDED 14 HANDICAP VAN	

GENERAL NOTES

- DO NOT SCALE DRAWINGS. CONTACT DESIGNER TO VERIFY ANY UNKNOWN DIMENSIONS.
- CONTRACTOR TO VERIFY WITH DIMENSIONS BEFORE COMMENCING ANY WORK. CONTRACTOR TO INFORM DESIGNER OF ANY DISCREPANCIES.
- ALL OTHER WORK REQUIRED BUT NOT SPECIFIED IN THIS DOCUMENTS SHALL BE PERFORMED BY CONTRACTORS TO MEET THE GENERAL PRACTICING STANDARDS, BUILDING CODES AND MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- CONTRACTOR TO OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE OR GOVERNING THE WORK. THE MOST STRINGENT SHALL APPLY.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTION AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE DESIGNER BEFORE PROCEEDING.
- ALL SIDEWALKS AND PATIO AREAS SURROUNDING THE BUILDING TO MAINTAIN A MAXIMUM 2% SLOPE.
- CONTRACTOR SHALL VERIFY ALL EXISTING SITE AND BUILDING CONDITIONS IN THE FIELD PRIOR BIDDING.
- CONTRACTOR SHALL PROVIDE ANY TEMPORARY ROADS OR CROSSINGS AS REQUIRED FOR EXECUTION OF THE CONTRACT. ALL TEMPORARY CONSTRUCTION SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
- PROVIDE CONCRETE WALKS WITH CONTROL AND EXPANSION JOINT.
- RELOCATION OF ALL UTILITY POLES, LINES AND OTHER EXISTING SERVICES (IF REQUIRED) SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE VERIFIED AND COORDINATED WITH APPROPRIATE AGENCIES.
- GRADE ALL LANDSCAPE ISLANDS TO AVOID WATER PONDING INSIDE CURBS-TYPICAL.
- ALL PAVING TO BE CONCRETE UNLESS NOTED OTHERWISE.
- SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- REFER TO CIVIL DRAWING FOR SITE WORK.
- GENERAL CONTRACTOR TO PROTECT ALL TREES AND SHRUBS (IF ANY) IN AREA OF NEW CONSTRUCTION.
- CONTRACTOR TO STAKE OUT ALL CORNERS OF BUILDINGS, ALL MAJOR SITE AND BUILDING COMPONENTS, ALL COLUMN LOCATIONS AND WATER EASEMENT PRIOR TO COMMENCEMENT OF ANY OTHER WORK.
- ALL RESERVED SYMBOLS ARE TO BE PAINTED "INTERNATIONAL RESERVED BLUE". ALL OTHER STRIPING AND ADJACENT ACCESS AISLES IS TO BE PAINTED WHITE.
- FLOOR OR LANDING ON EACH SIDE OF DOORS ARE AT THE SAME ELEVATION ON EACH SIDE OF THE DOORS. LANDING SHALL BE LEVEL EXCEPT THAT EXTERIOR LANDINGS MAY HAVE A SLOPE NOT TO EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2% SLOPE) AS PER SECTION 1008.1.4.
- GROUND AND FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS AND SPACES INCLUDING FLOORS, WALKS, RAMPS, STAIRS, AND CURB RAMPS, SHALL BE STABLE, FIRM, SLIP RESISTANT AND SHALL COMPLY WITH TAS.

01 SITE PLAN
Scale 1/32" = 1' - 0"

WATER SUPPLY (FOR FIREFIGHTING)

BUILDING	REQUIRED GPM:	2,250
BUILDING 01	DURATION:	2H
	NUMBER OF HYDRANTS REQUIRED / PROVIDED	2REQ / 2PROV
	75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO
BUILDING 02 & 03	REQUIRED GPM:	2,500
	DURATION:	2H
	NUMBER OF HYDRANTS REQUIRED / PROVIDED	3REQ / 3PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO	
BUILDING 04, 05, 06 & 07	REQUIRED GPM:	2,500
	DURATION:	2H
	NUMBER OF HYDRANTS REQUIRED / PROVIDED	3REQ / 3PROV
75% REDUCTION (MUST MAINTAIN MINIMUM PER TABLE B105.1.(1) OR B105.1.(2))	NO	

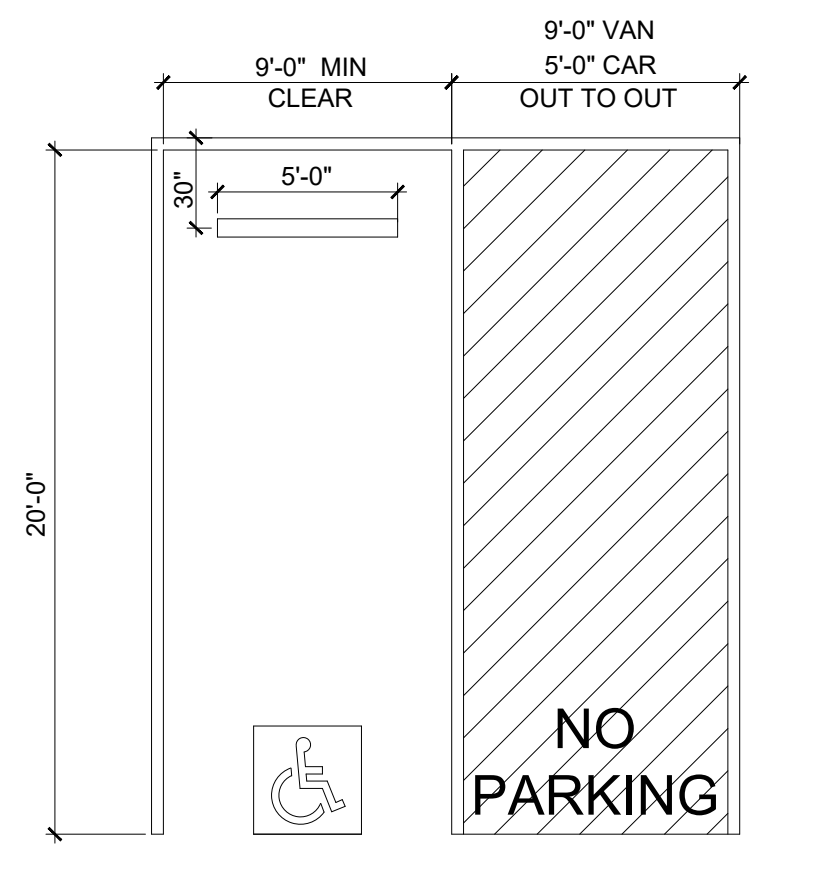
GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

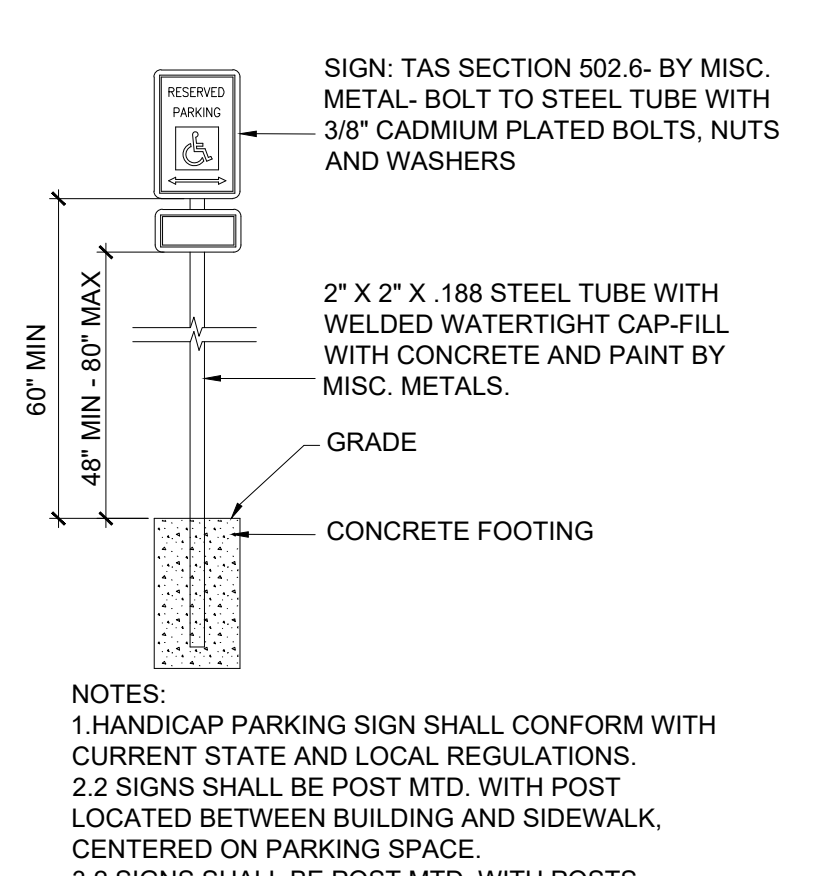
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this ___ day of _____, 2023.

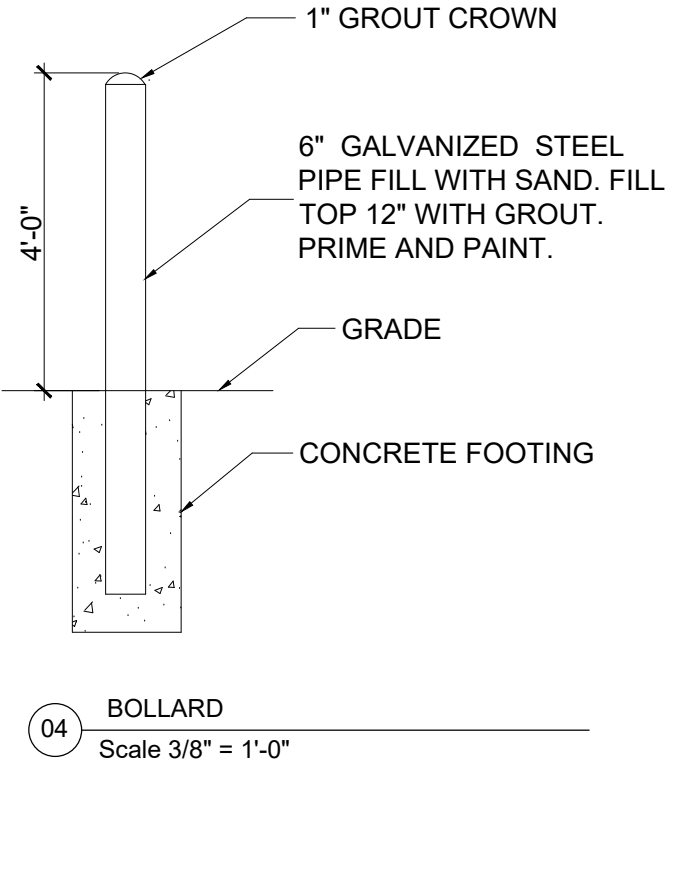
Planning & Zoning Commission, Chairman Director of Planning and Zoning



02 HANDICAP SPACE & AISLE
Scale 3/8" = 1'-0"



03 HANDICAP SIGN POST
Scale 3/8" = 1'-0"



04 BOLLARD
Scale 3/8" = 1'-0"

RSG ENGINEERING

13501 KATY FREEWAY
SUITE 3180
HOUSTON, TEXAS 77079
PH. 713-763-7777

project
ROCKWALL OFFICES WAREHOUSES
at
0 AIRPORT ROAD
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 08/07/23

05/19/2023

SITE PLAN

DRAWN BY:	CHECKED:
PROJECT No:	SHEET No:
23420.02	A0.1

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

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WITNESS OUR HANDS, this ____ day of _____, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

NO ROOF MOUNTED HVAC UNITS.
HVAC MECHANICAL UNITS TO BE PLACED ADJACENT TO BUILDING WITH REQUIRED SCREENING

GENERAL NOTES

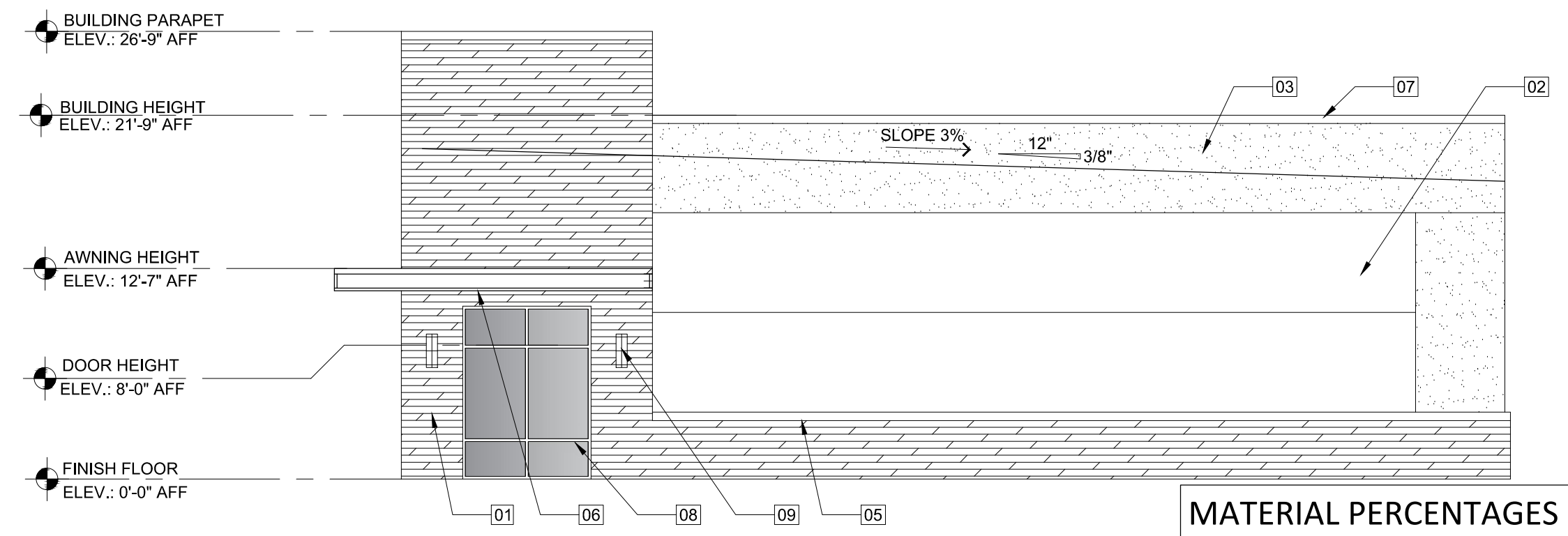
- ALL PAINT SHALL BE APPROVED BY OWNER PRIOR TO APPLICATION. PREPARE SURFACE AND APPLY PAINT, PER PAINT MANUFACTURER RECOMMENDATIONS.
- ALL GLAZING TO BE TEMPERED. REFER WINDOW SCHEDULE.
- VERTICAL DIMENSIONS SHOWN ARE FOR REFERENCE TO TOP OF FRAMING. REFER WALL SECTIONS AND DETAILS FOR SPECIFICS.
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- CONTROL JOINT. NOT TO EXCEED 144 S.F.



MATERIAL PERCENTAGES
1 STONE: = 33% **20% MIN.**
2**3****4** MASONRY: = 67%

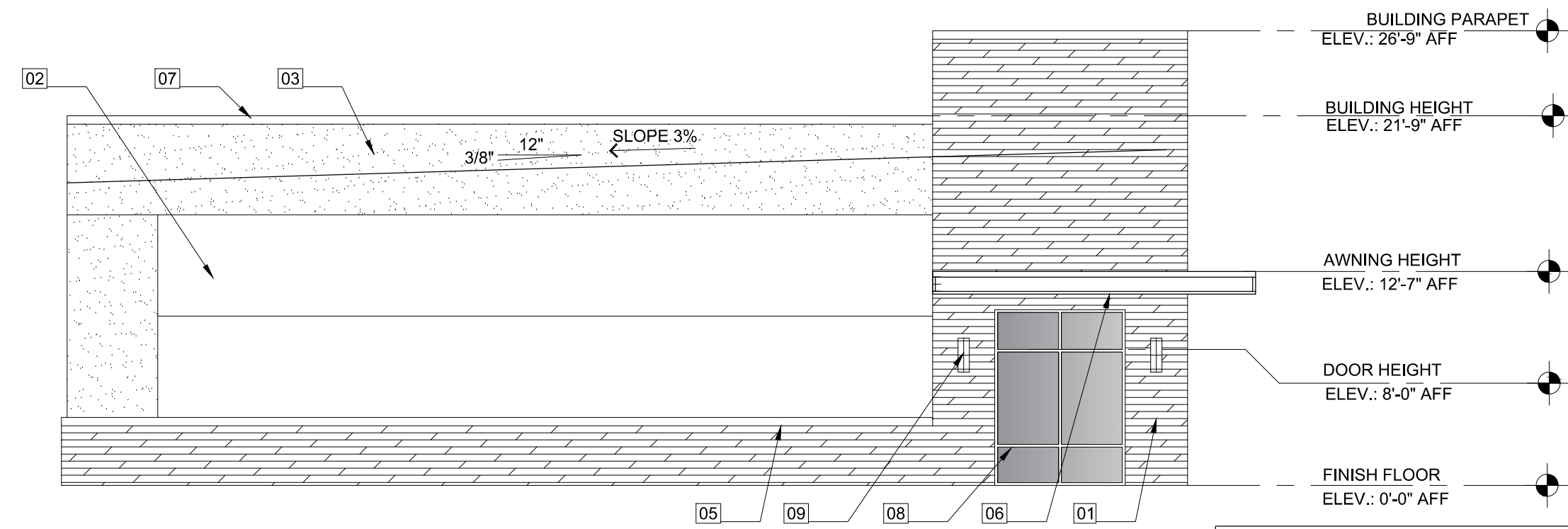
01 FRONT ELEVATION
Scale 1/8" = 1' - 0"

WILL PROVIDE FUTURE SUITE NUMBERS
PER CITY REQUIREMENTS



MATERIAL PERCENTAGES
1 STONE: = 63% **20% MIN.**
2**3****4** MASONRY: = 37%

02 RIGHT ELEVATION
Scale 1/8" = 1' - 0"

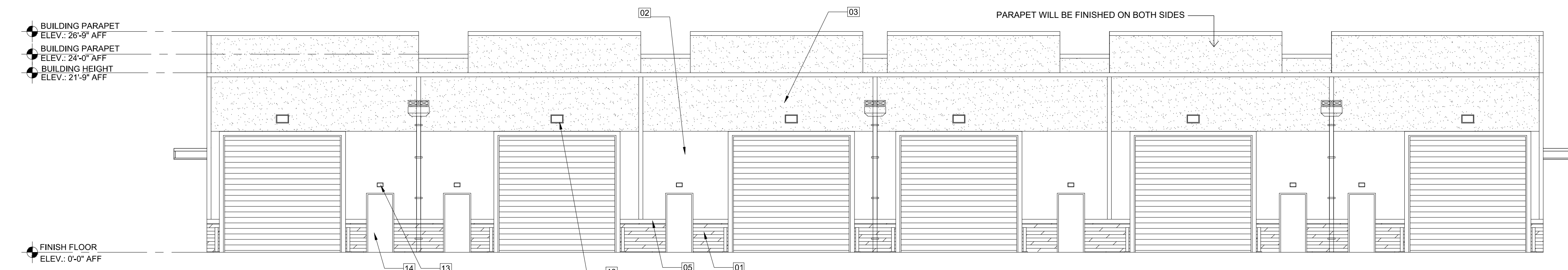


MATERIAL PERCENTAGES
1 STONE: = 63% **20% MIN.**
2**3****4** MASONRY: = 37%

03 LEFT ELEVATION
Scale 1/8" = 1' - 0"

EXTERIOR ELEVATION KEY NOTES

- NATURAL QUARRIED STONE. COLOR: SW 7066 (GRAY MATTERS)
- STUCCO COLOR: SW 7074 (SOFTWARE)
- STUCCO COLOR: SW 7074 (SOFTWARE)
- STUCCO COLOR: SW 6257 (GIBRALTAR)
- CAP STONE
- PRE-FINISHED METAL CANOPY. COLOR: SW 7076 (CYBERSPACE)
- METAL COPING
- WINDOW/ DOOR SYSTEM (RE. SCHEDULES)
- WALL SCONCE
- WALL PACK LIGHT
- DOWNSPOUT
- WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- EXTERIOR WALL-MOUNTED LIGHT
- PAINTED METAL DOOR, COLOR: SW 7664 (STEELY GRAY)
- SCUPPER
- OVERHEAD DOOR, COLOR: SW 7664 (STEELY GRAY)
- BOLLARDS



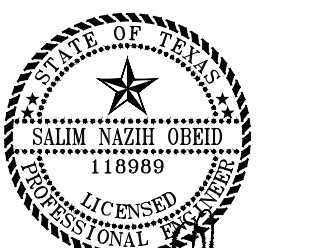
MATERIAL PERCENTAGES
1 STONE: = 4%
2**3****4** MASONRY: = 96%

04 REAR ELEVATION
Scale 1/8" = 1' - 0"

REVISIONS

ISSUE DATE: 08/07/23

BUILDING 01



05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:
23420.02 A2.0

EXTERIOR ELEVATION KEY NOTES

- 1 NATURAL QUARRIED STONE. COLOR: SW 7066 (GRAY MATTERS)
- 2 1/2" CORRUGATED METAL SIDING 15". COLOR: SW 7074 (SOFTWARE)
- 3 3/4" CORRUGATED METAL SIDING 10". COLOR: SW 7074 (SOFTWARE)
- 4 1/2" CORRUGATED METAL SIDING 5". COLOR: SW 6257 (GIBALTAR)
- 5 CAP STONE
- 6 PRE-FINISHED METAL CANOPY. COLOR: SW 7076 (CYBERSPACE)
- 7 METAL COPING
- 8 WINDOW DOOR SYSTEM (RE. SCHEDULES)
- 9 WALL SCONCE
- 10 WALL PACK LIGHT
- 11 DOWNSPOUT
- 12 WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- 13 EXTERIOR WALL-MOUNTED LIGHT
- 14 PAINTED METAL DOOR. COLOR: SW 7664 (STEELY GRAY)
- 15 GUTTER
- 16 OVERHEAD DOOR - COLOR: SW 7664 (STEELY GRAY)
- 17 BOLLARDS
- 18 ROOF
- 19 WALL SUPPORT
- 20 VENTS

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

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WITNESS OUR HANDS, this ____ day of _____, 2023.

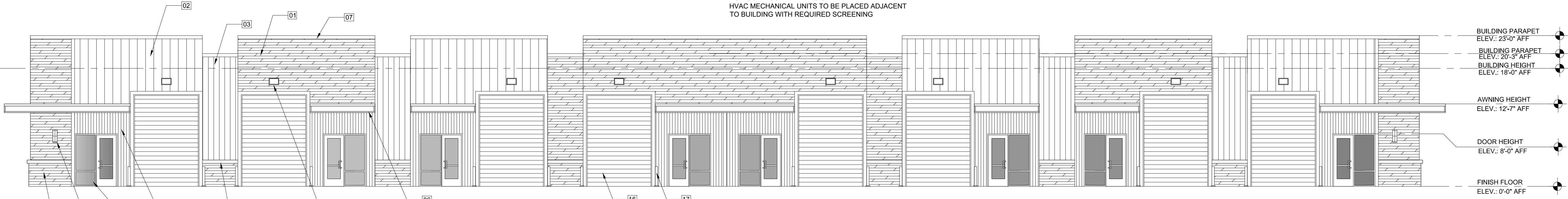
Planning & Zoning Commission, Chairman

Director of Planning and Zoning

GENERAL NOTES

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NO ROOF MOUNTED HVAC UNITS.
HVAC MECHANICAL UNITS TO BE PLACED ADJACENT TO BUILDING WITH REQUIRED SCREENING

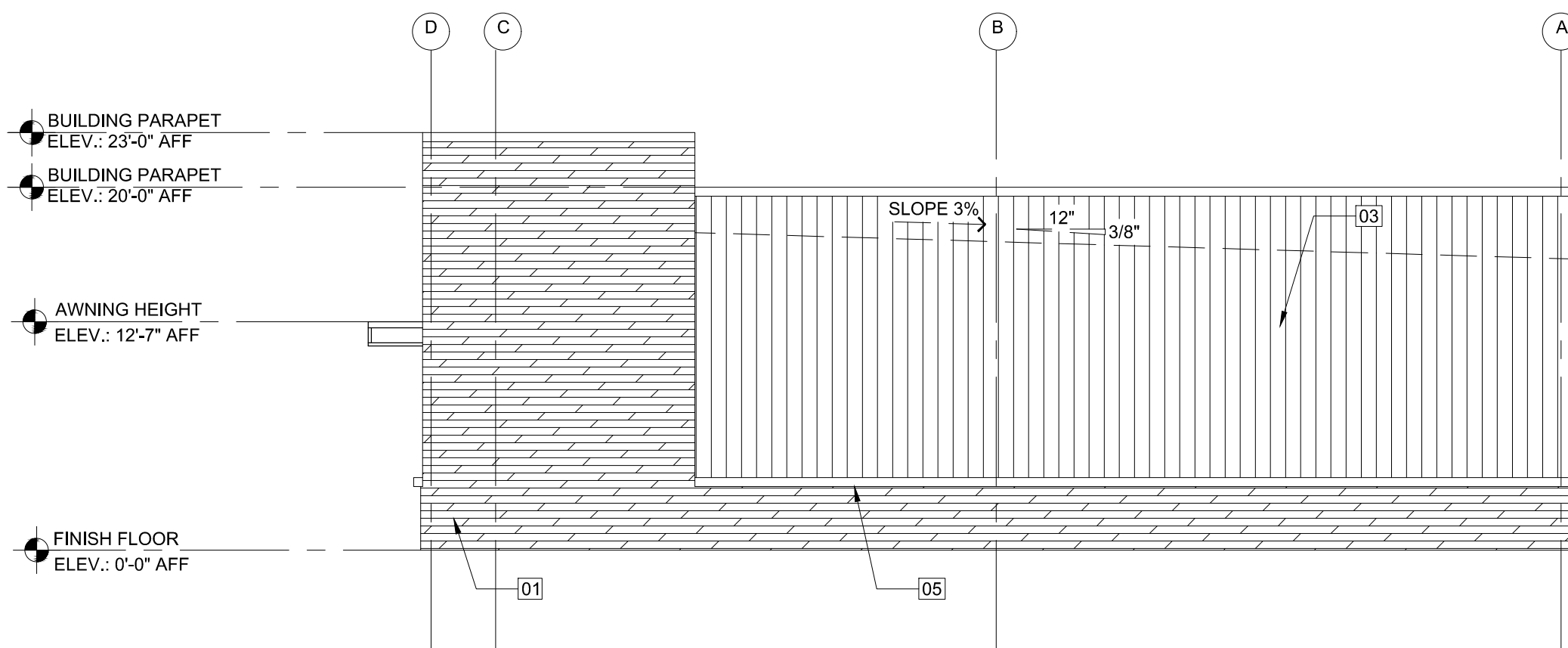


- BUILDING PARAPET ELEV.: 23'-0" AFF
- BUILDING PARAPET ELEV.: 20'-3" AFF
- BUILDING HEIGHT ELEV.: 18'-0" AFF
- AWNING HEIGHT ELEV.: 12'-7" AFF
- DOOR HEIGHT ELEV.: 8'-0" AFF
- FINISH FLOOR ELEV.: 0'-0" AFF

MATERIAL PERCENTAGES

- 1 STONE: = 46% 20% MIN.
- 2 3 4 METAL SIDING: = 54%

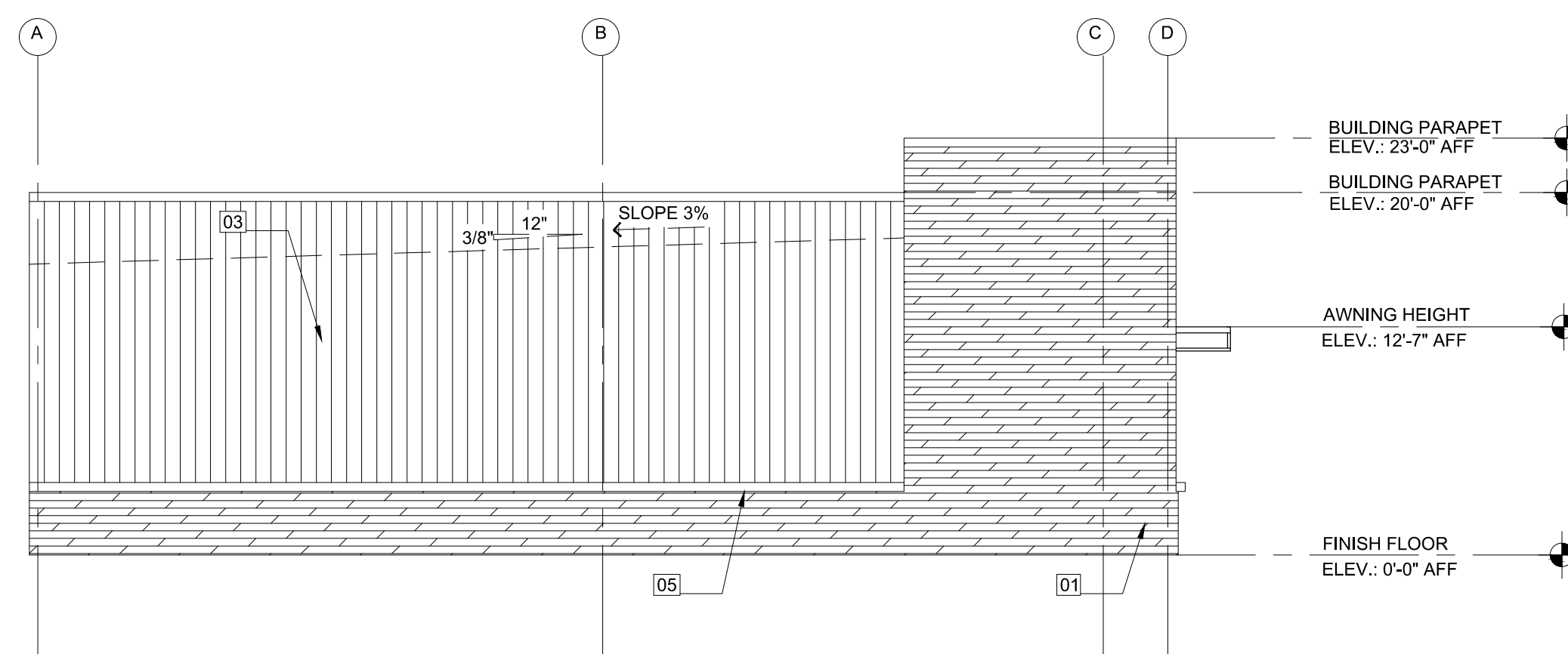
WILL PROVIDE FUTURE SUITE NUMBERS PER CITY REQUIREMENTS



02 RIGHT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

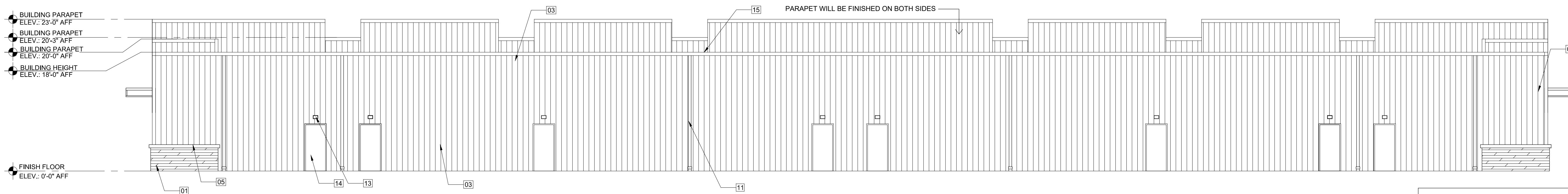
- 1 STONE: = 42% 20% MIN.
- 2 3 4 METAL SIDING: = 58%



03 LEFT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

- 1 STONE: = 42% 20% MIN.
- 2 3 4 METAL SIDING: = 58%



04 REAR ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES

- 1 STONE: = 2% 20% MIN.
- 2 3 4 METAL SIDING: = 98%

RSG ENGINEERING

13501 KATY FREEWAY
SUITE 3180
HOUSTON, TEXAS 77079
PH. 713-783-7777

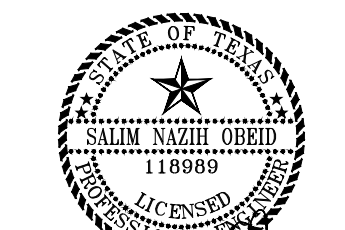
TBP# FIRM #: 15498

project
ROCKWALL OFFICES WAREHOUSES
at
0 AIRPORT ROAD
ROCKWALL, TX 75087

REVISIONS

ISSUE DATE: 08/07/23

BUILDINGS 02 & 03



05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:

23420.02 A2.0

EXTERIOR ELEVATION KEY NOTES

- 1 NATURAL QUARRIED STONE. COLOR: SW 7066 (GRAY MATTERS)
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- 12 WALL SUPPORT - PROVIDE WHERE IS NECESSARY
- 13 EXTERIOR WALL-MOUNTED LIGHT
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- 16 OVERHEAD DOOR - COLOR: SW 7664 (STEELY GRAY)
- 17 BOLLARDS
- 18 ROOF
- 19 WALL SUPPORT
- 20 VENTS

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

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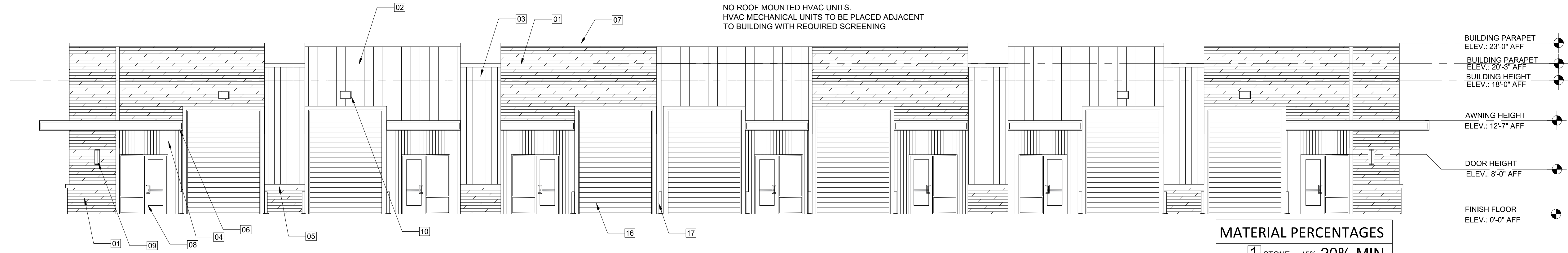
WITNESS OUR HANDS, this ____ day of _____, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

GENERAL NOTES

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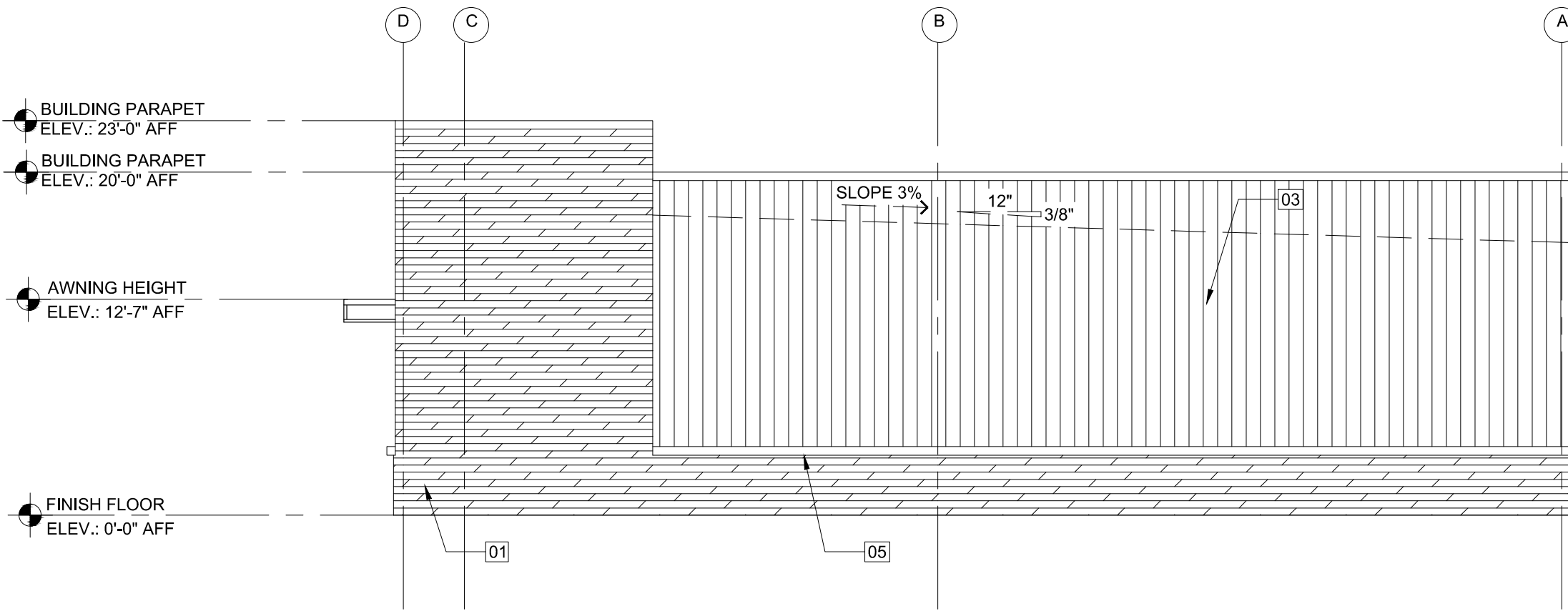


01 FRONT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES
1 STONE = 45% 20% MIN.
2 3 4 METAL SIDING = 55%

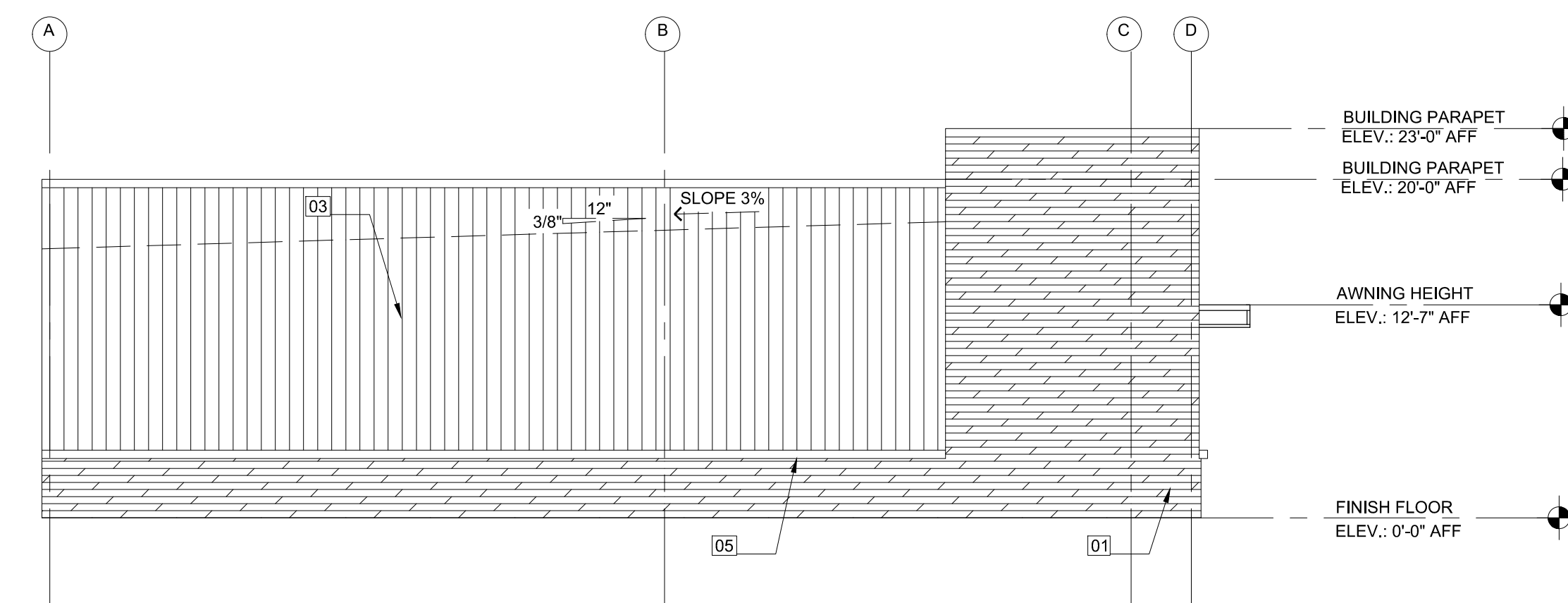
NO ROOF MOUNTED HVAC UNITS.
HVAC MECHANICAL UNITS TO BE PLACED ADJACENT TO BUILDING WITH REQUIRED SCREENING

WILL PROVIDE FUTURE SUITE NUMBERS PER CITY REQUIREMENTS



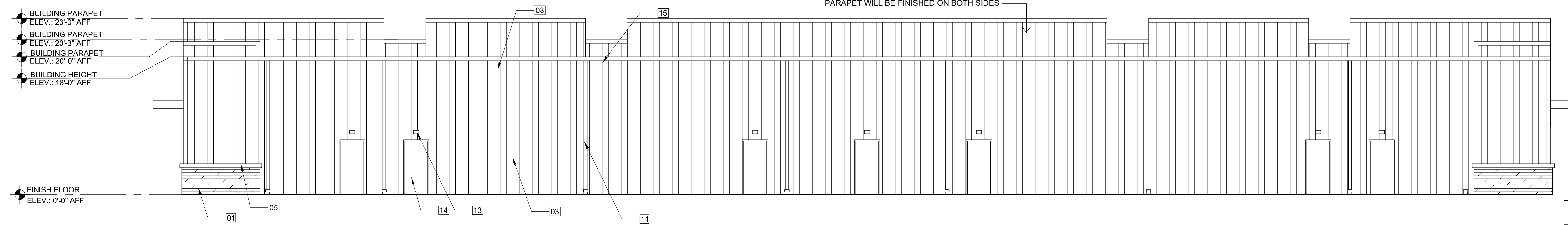
02 RIGHT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES
1 STONE = 40% 20% MIN.
2 3 4 METAL SIDING = 60%



03 LEFT ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES
1 STONE = 40% 20% MIN.
2 3 4 METAL SIDING = 60%



04 REAR ELEVATION
Scale 1/8" = 1' - 0"

MATERIAL PERCENTAGES
1 STONE = 2%
2 3 4 METAL SIDING = 98%

RSG ENGINEERING

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project
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ISSUE DATE: 08/07/23
BUILDINGS
04, 05, 06 & 07

05/19/2023

EXTERIOR ELEVATIONS

DRAWN BY: CHECKED:

PROJECT No: SHEET No:
23420.02 A2.0

TBPE FIRM #: 15498



22GA / 24GA PVDF COLORS



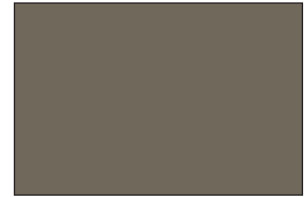
REGAL WHITE
TSR 69.6 E .83 SRI 84



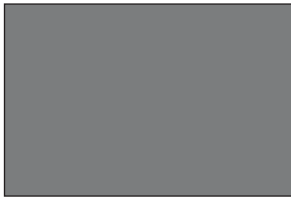
PARCHMENT
TSR 50.7 E .85 SRI 58



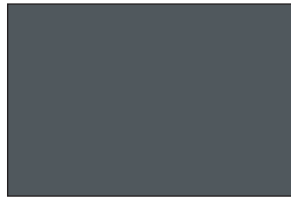
SIERRA TAN
TSR 52 E .85 SRI 59



MOCHA
TSR 34.4 E .83 SRI 35



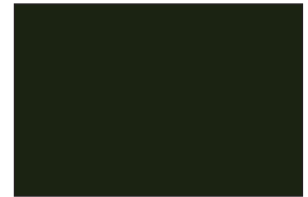
OLD ZINC GRAY
TSR 37.1 E .87 SRI 40



SLATE GRAY
TSR 29.7 E .86 SRI 30



BRONZE
TSR 29.7 E .86 SRI 30



DARK BRONZE
TSR 28.7 E .85 SRI 28



OLD TOWN GRAY
TSR 39.2 E .84 SRI 42



WEATHERED COPPER
TSR 32.8 E .9 SRI 36



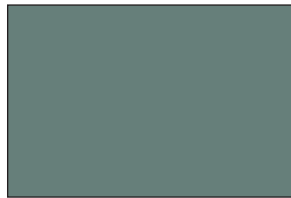
COLONIAL RED
TSR 32.7 E .87 SRI 34



RETRO RED
TSR 38.6 E .85 SRI 41



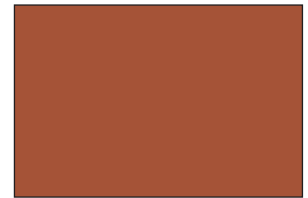
HARTFORD GREEN
TSR 27.5 E .86 SRI 27



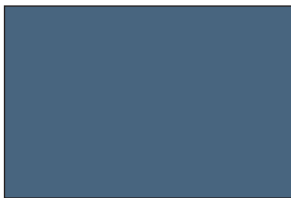
HEMLOCK GREEN
TSR 34 E .86 SRI 36



FOREST GREEN
TSR 30 E .86 SRI 30



TERRA COTTA
TSR 39.5 E .84 SRI 42



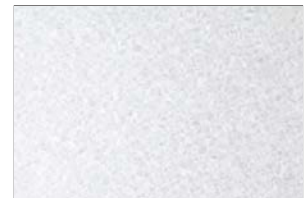
TWILIGHT BLUE
TSR 31.1 E .86 SRI 32



REGAL BLUE
TSR 26.2 E .85 SRI 25



MATTE BLACK
TSR .277 E .86 SRI 27

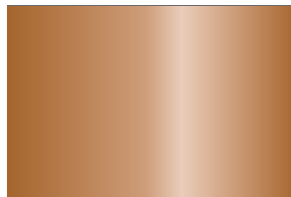


GALVALUME
*24 Gauge Only

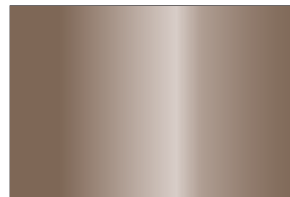
22GA / 24GA METALLIC PVDF COLORS



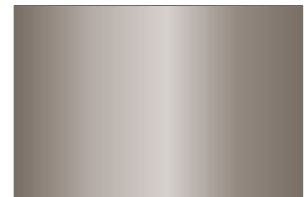
SILVER METALLIC ‡
TSR 50 E .8 SRI 58



COPPER PENNY ‡
TSR 46.2 E .85 SRI 52

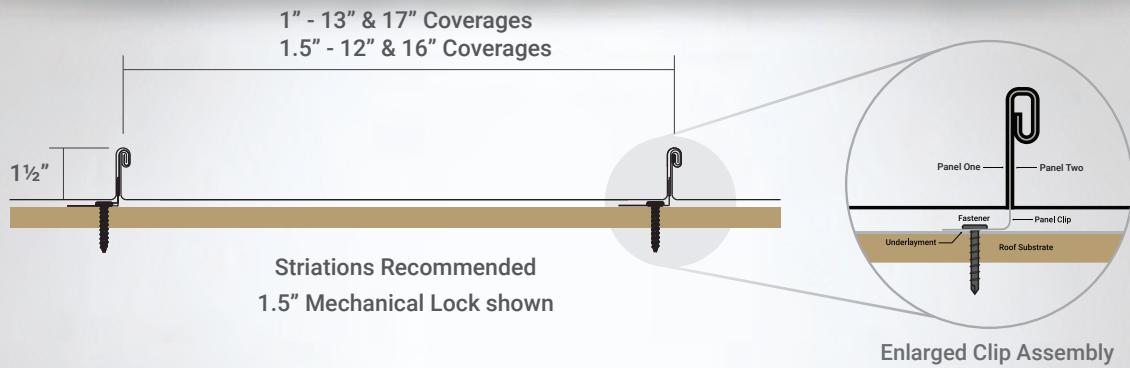


CHAMPAGNE METALLIC ‡
TSR 46.6 E .83 SRI 51



MICA WEATHERED ZINC ‡
TSR 38.6 E .83 SRI 40

‡ Metallic color, premium pricing applies.



Roof Coverage	1" - 13" & 17" 1.5" - 12" & 16"
Radius Panel	Available
Panel Gauges	22*, 24*
Fastener Options	Concealed Clip System
Panel Length	3' - 43" Shop Production 100'+ Run Onsite
Rib Height	1" or 1.5"
Roof Slope	Minimum 1:12 or Greater with Mastic
Impact Rating	UL 2218
Wind Uplift Rating	ASTM E1592 1.5" Mechanical Lock
Warranty	Based on Paint System
For more information	1.833.STEEL.US

* Grade 50

Version 5.1, 4/2021



Vented/Non-Vented Ridge Cap



Hip Ridge



W Valley



Transition -High to Low



Transition - Low to High



Open Prow Gable



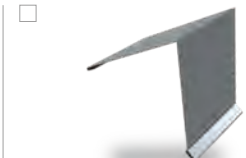
Mini Gable



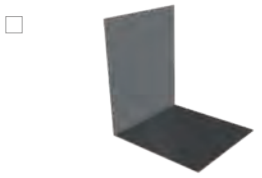
Eave



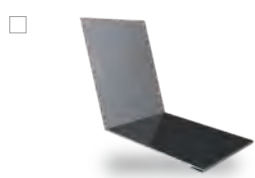
Style D Trim



Mini Top Cap



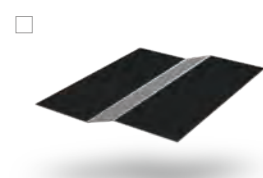
Sidewall



Endwall



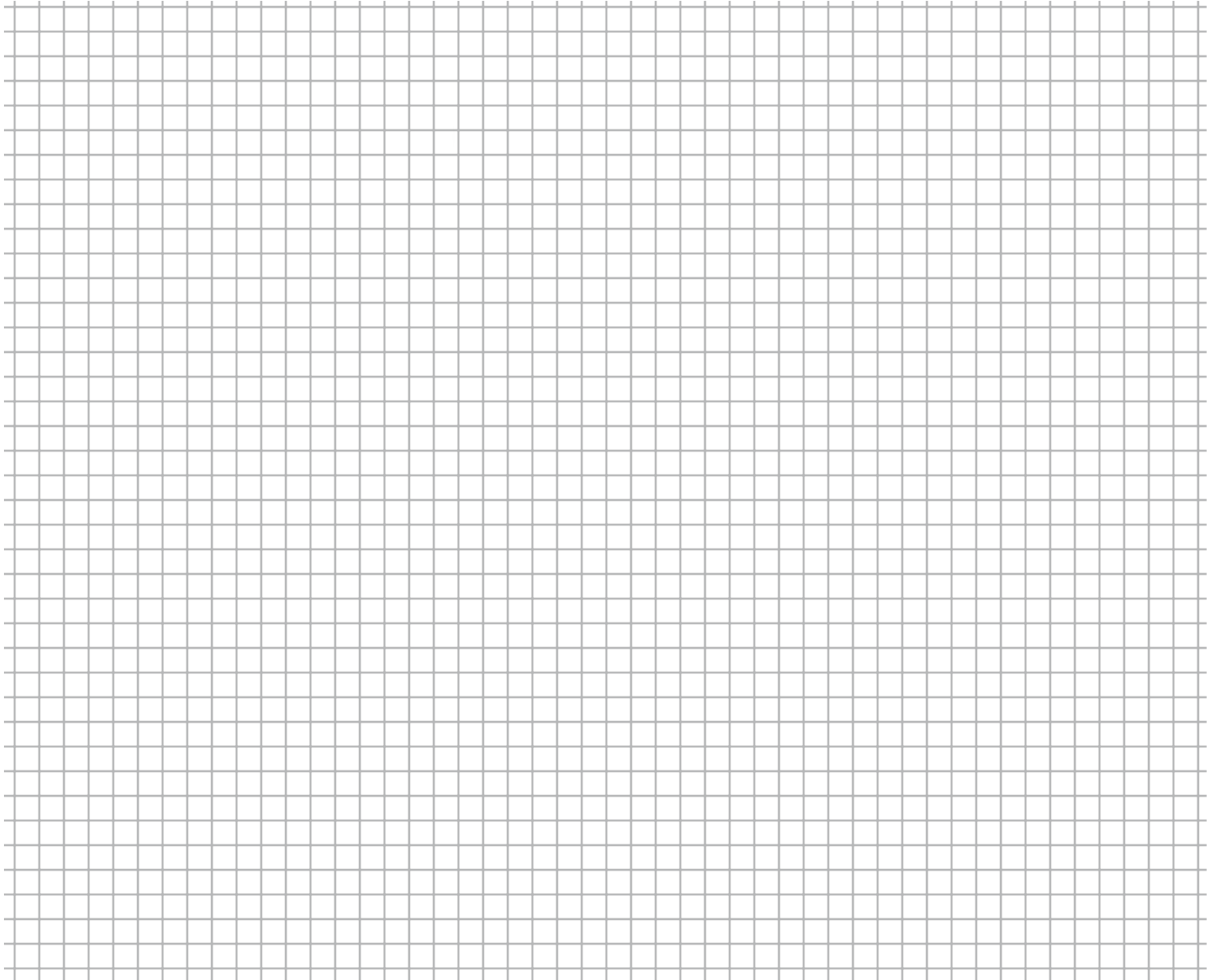
Fascia

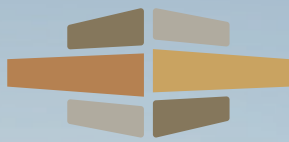


Offset Cleat



Z Metal





SALADO

Honest and Enduring





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THE SALADO DIFFERENCE: PEOPLE. PRODUCTS. SERVICE.

Honest and Enduring: That's how our customers describe their relationships with our staff, our service and the stone materials we produce.

Our natural limestone and sandstone products are of the highest quality, meticulously crafted to our clients' most exacting standards and always competitively priced.

Our people are focused on building relationships with our clients. Characterized by their will-help attitude, our professional team is knowledgeable, dependable and committed to providing each client with exceptional service.

“Salado does it right or they make it right.”

At Salado, we bring quarries together to provide depth and variety in choice to architects, designers, materials specifiers, building, hardscape and landscape professionals, stone fabricators, and homeowners. We will work hard to have Salado become your preferred source for stone.

To start the conversation, give us a call at 254.793.3355 or email info@SaladoUSA.com.



STATION 110

THIN STONE VENEER

When you want the durability and beauty of natural stone, but not the weight, think natural stone thin veneer—and say goodbye to manmade products that can wear poorly over time.

One of Salado's most requested products, our natural thin stone veneer can be used anywhere in the country for both interiors or exteriors. When installed, it resembles much larger, heavier pieces of stone.

Our natural thin stone veneer is good for the environment—and it can be great for your bottom line, thanks to faster installation, reduced shipping costs and superior durability.

SPECS

Size: 1.25-1.5" thick

Coverage: 10-15 lbs./sq. ft. typical weight per square foot.



“The entire process is orchestrated so well.”

3100
ESPERANZA Cr

®

ARCHITECTURAL CUT

The details make all the difference in stonework, which is why the right architectural cut features—like headers, sills, caps, quoins, panels, window surrounds and paving—can elevate a design, taking it from so-so to sensational.

With architectural cut, sometimes referred to as dimensional cut stone, you specify the combination of height, length and thickness of the finished pieces. The stone is then manufactured to your exact specifications.

Want a unique look? Consider having us give the stone a finish such as brushed, honed or chatted.



Architectural Cut Linen



Almond



Cashmere



Ivory



Linen



Merlot



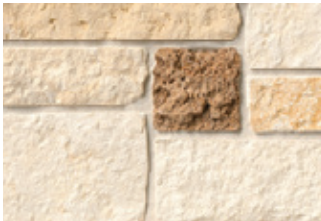
SONOMA PATTERN

Sonoma has a modern, linear look made up of squares and rectangles. Also known as sawn chop, sawn top and bottom, or wet sawed, it conveys a feeling of solidity, integrity and permanence.

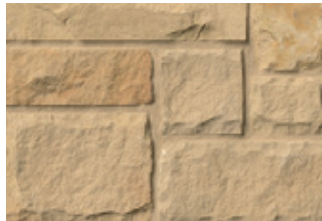
SPECS

Size: Saw cut on top and bottom with chopped/split face. Heights are cut to specifications, typically 4-12" (under 4" available as ledgerstone, 12-16" options also available). Random broken/chopped lengths. Nominal 3-5" thickness.

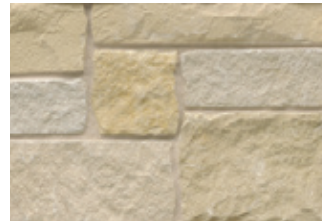
Coverage: 40-45 square feet per ton (approximate)



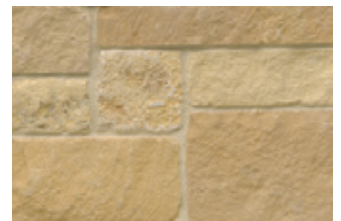
Alta



Autumn



Buff Lueders



Caramel



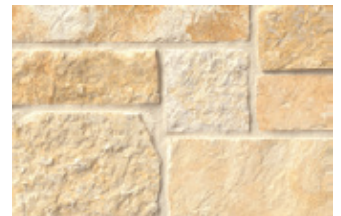
Cave



Charcoal



Cream



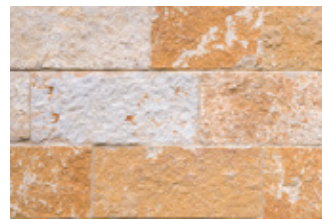
Gold



Latte



Light Antique



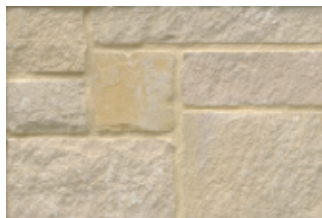
Lueders Roughback



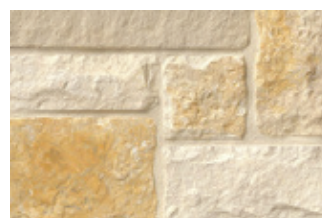
Matera



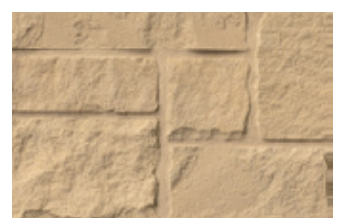
Red



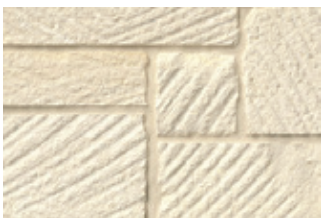
Sea Fossil



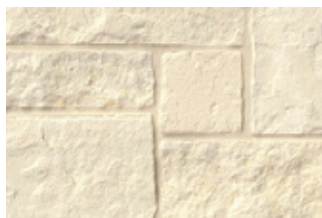
Sonoma Blend



Tan



Vermeer Saw



White



CHATEAU PATTERN

In this time-honored pattern, the stone comes in random shapes and sizes, and is sometimes referred to as flag, flagstone, builder, irregular builder, fieldstone or mosaic. Here the skill of the mason is shown off, as the stone is fit together like a puzzle.

SPECS

When installed as wall veneer:

Size: Typically the face is larger than a dinner plate, but smaller than a chair cushion; 3-5" thick.

Coverage: 40-45 square feet per ton (approximate)

When installed as natural patio stone:

Size: 2-3" thick (approximate)

Coverage: 75-80 square feet per ton (approximate)



Gold



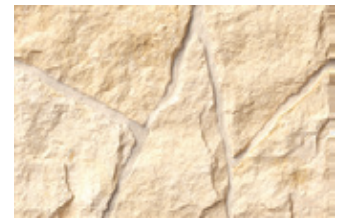
Autumn



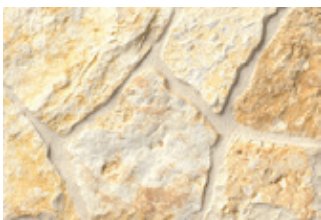
Balcones



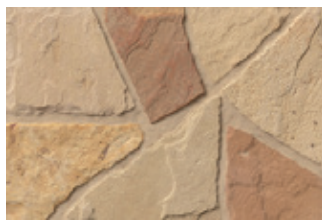
Brown



Cream



Gold



Hickory



Latte



Red



Tan



White



TUSCANY PATTERN

This classic pattern is hand-formed rough, rustic squares and rectangles in random heights and lengths. Sometimes referred to as chop, hand chop, field chop or rough chop, Tuscany provides a sense of history and underscores the handmade nature of traditional stonework.

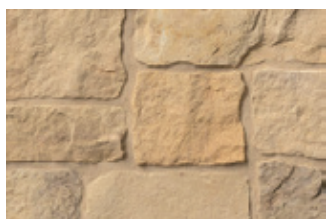
SPECS

Size: Random heights 3-8" tall (under 3" as ledgetone); square to rectangular widths; 3-5" thickness

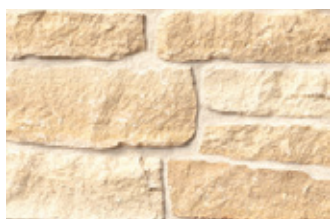
Coverage: 40-45 square feet per ton (approximate)



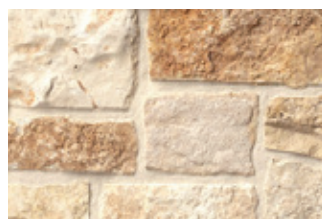
Tuscany White



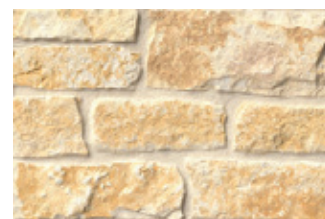
Autumn



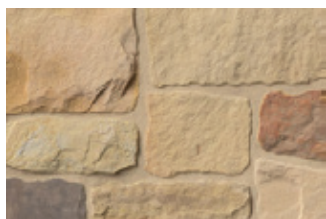
Balcones



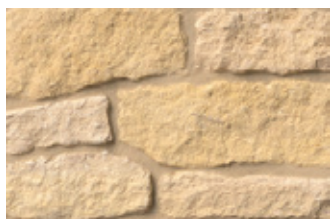
Brown



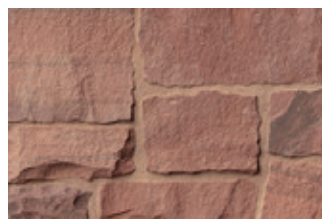
Gold



Hickory



Latte



Red



Tan



White





Sonoma Latte and Architectural Cut Cashmere

CUSTOM BLENDS: A MIX OF PATTERNS AND COLORS

Dream. Imagine. Create. Color outside the lines.

When you want something other than the usual, Salado offers endless varieties of limestone and sandstone cuts, colors, sizes, textures and finishes produced by nature that you can mix however you want. Go ahead: Create something that is uniquely yours.



Tuscany Hickory and Architectural Cut Almond



Architectural Cut White, Cream and Cave



Sonoma White and Architectural Cut Linen





Sonoma Buff Lueders

HARDSCAPE

The perfect complement to our building stone, Salado hardscaping stone's contrasting textures and colors add interest while still blending with the environment. Fountains, benches, retaining walls, pavers, accent boulders and sculptures are a few ways our stone can be part of a comprehensive landscape design. It is ideal for integrating outdoor living spaces, such as outdoor kitchens, pool surrounds and seating areas into the overall property design.



Architectural Cut White, Cream and Cave



Sonoma Blend

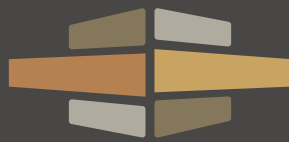


Architectural Cut Linen

12700

CEISOS
★
GRILL

CEISOS GRILL



SALADO

Honest and Enduring

Visit www.saladousa.com to learn more
about Salado and find inspiration in our extensive
portfolio of completed installations.

info@SaladoUSA.com

254.793.3355

3500 FM 2843, Florence, TX 76527

Building 1



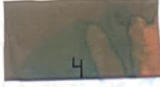
Buff Lueders



OLD TOWN GRAY
TSR 39.2 E. 84 SRI 42



OLD ZINC GRAY
TSR 37.1 E. 87 SRI 40



MOCHA
TSR 34.4 E. 83 SRI 35



Applicant Information

Hind Saad
HSG Engineering
13501 Katy Fwy Suite 3380
Houston, TX 77079
(713)783-7777
hind@hsgcompanies.com

Owner Information

Roy Bhavi
FlexSpace Business Parks LLC
835 Tillman Dr
Allen, TX 75013
(972)674-8933
roybhavi@flexspacebusinessparks.com

Rockwall FlexSpace Center

Case Number:

Buildings 2 and 3



Buff Lueders



OLD TOWN GRAY
TSR 39.2 E. 84 SRI 42



OLD ZINC GRAY
TSR 37.1 E. 87 SRI 40



MOCHA
TSR 34.4 E. 83 SRI 35

Applicant Information

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Owner Information

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835 Tillman Dr
Allen, TX 75013
(972)674-8933
roybhavi@flexspacebusinessparks.com

Rockwall FlexSpace Center

Case Number:

Buildings 4,5,6 and 7



Buff Lueders



OLD TOWN GRAY
TSR 39.2 E. 84 SRI 42



OLD ZINC GRAY
TSR 37.1 E. 87 SRI 40



MOCHA
TSR 34.4 E. 83 SRI 35

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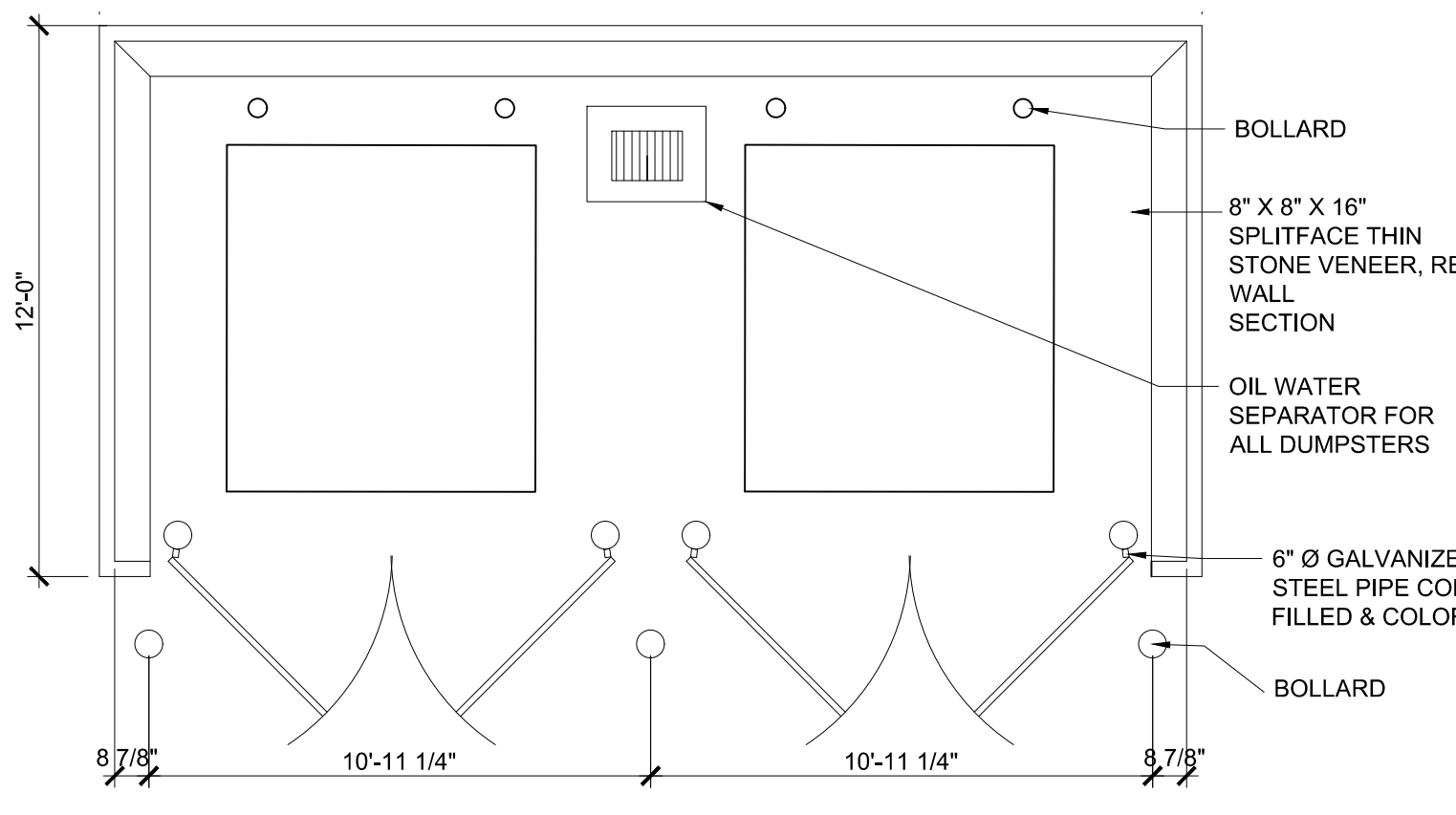
NO.	REVISIONS

ISSUE DATE: 08/07/23

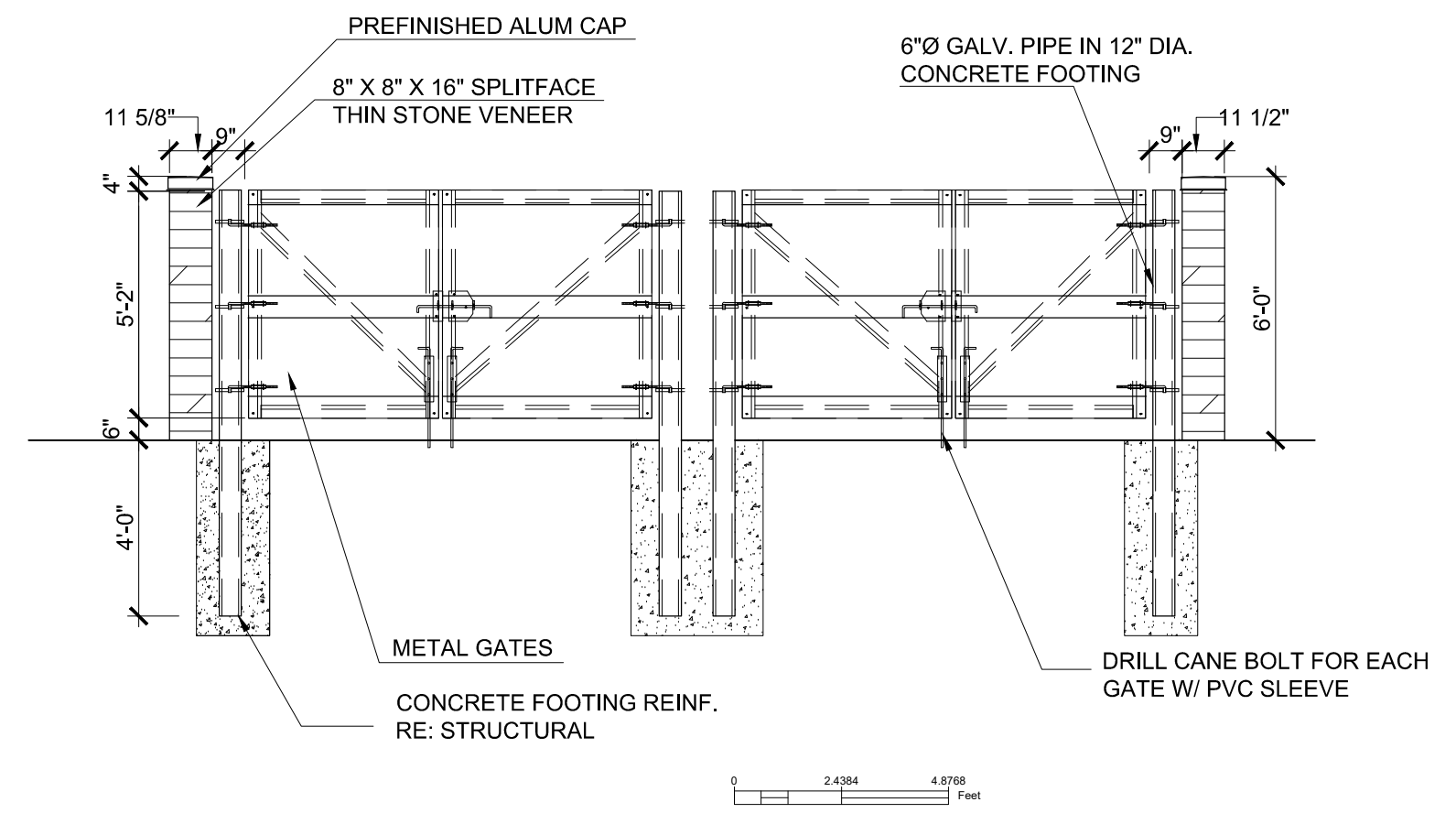
05/19/2023

DUMPSTER DETAIL

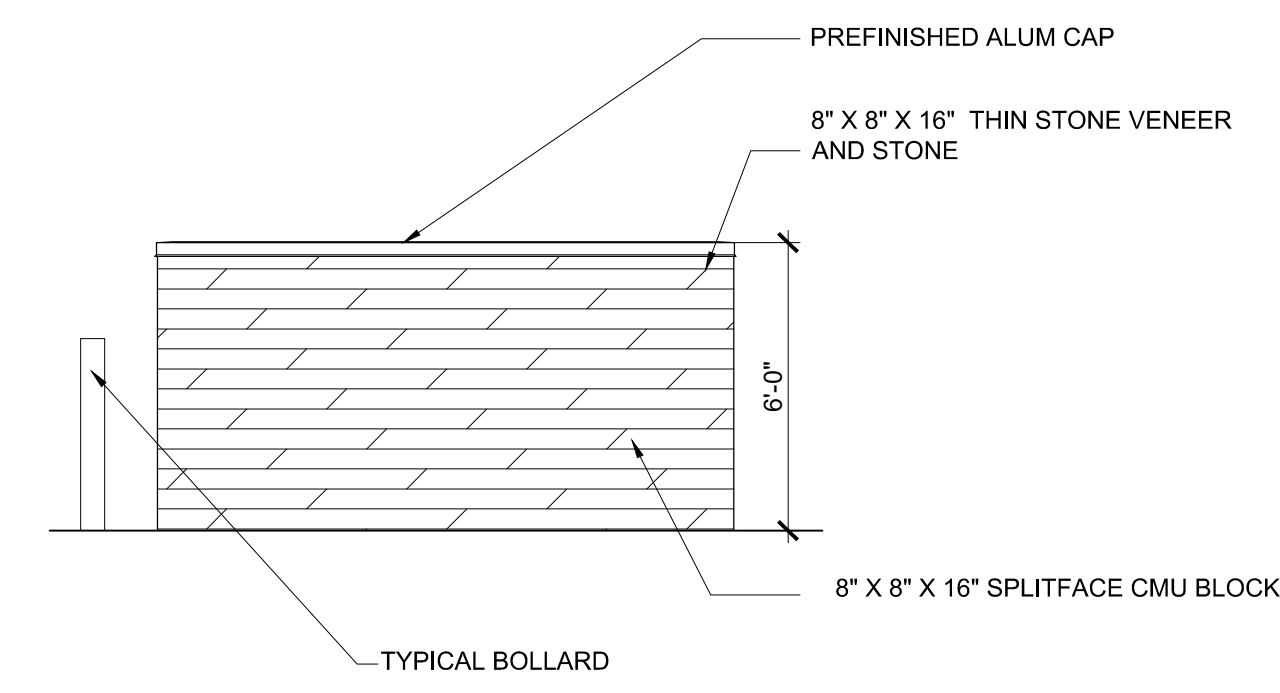
DRAWN BY:	CHECKED:
PROJECT No:	SHEET No:
23420.02	A0.2



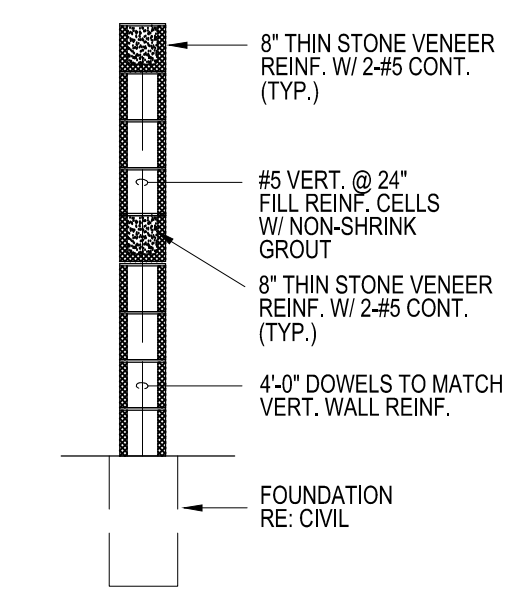
01 DUMPSTER PLAN
Scale 1/4" = 1'-0"



02 DUMPSTER FRONT ELEVATION
Scale 1/4" = 1'-0"



03 DUMPSTER RIGHT ELEVATION
Scale 1/4" = 1'-0"



04 DUMPSTER SECTION
Scale 3/8" = 1'-0"

GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

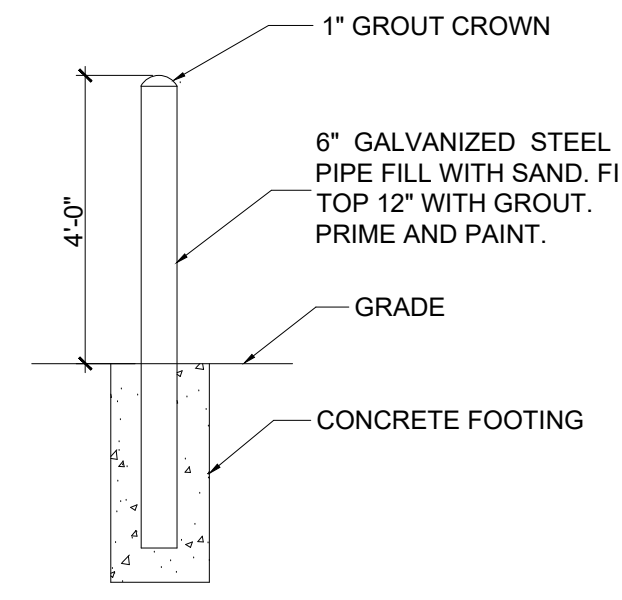
SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this ____ day of _____, 2023.

Planning & Zoning Commission, Chairman

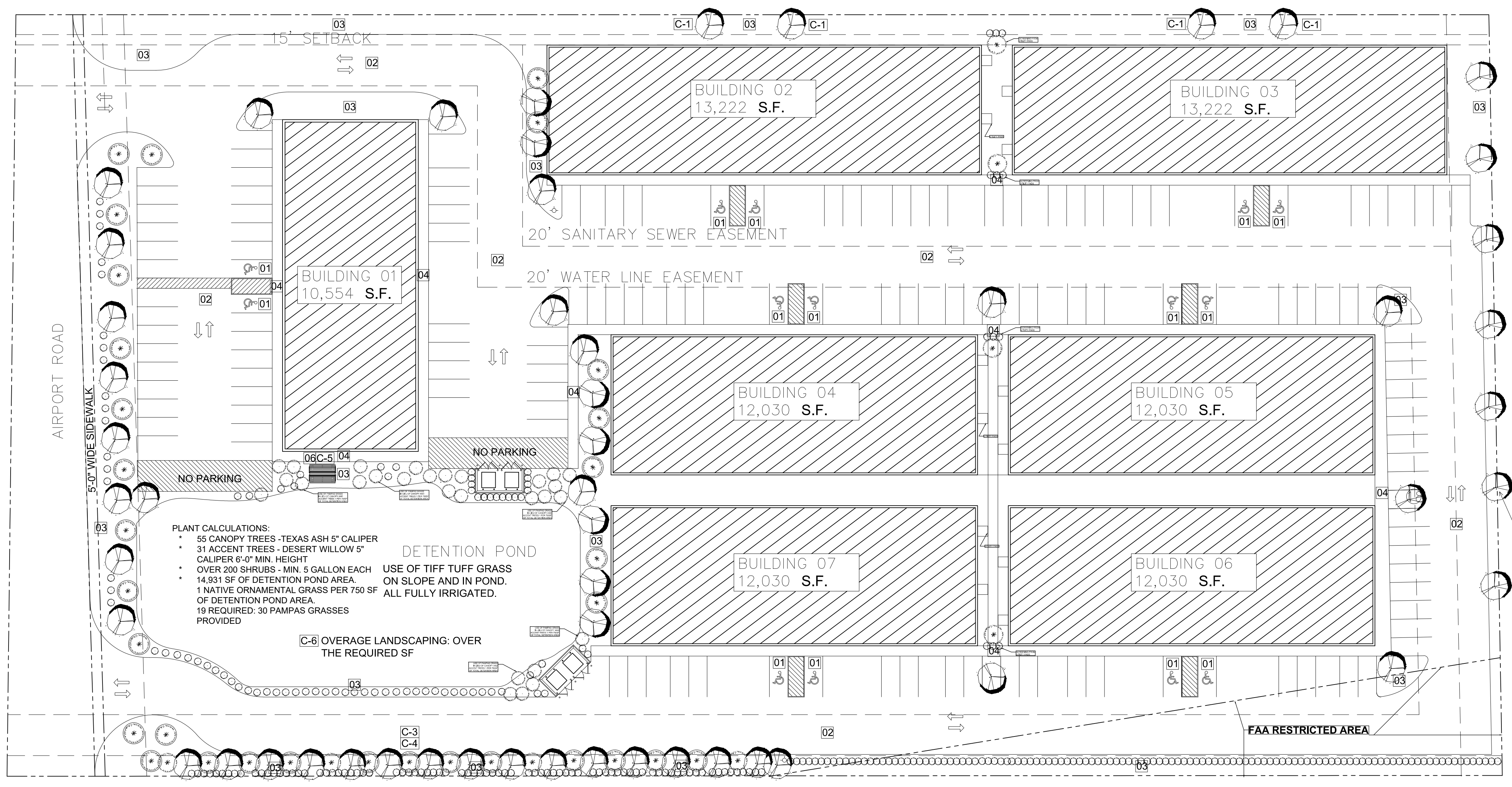
Director of Planning and Zoning



05 TRASH ENCLOSURE BOLLARD
Scale 3/8" = 1'-0"

GENERAL NOTES

- FOR DUMPSTER ENCLOSURE REFER STRUCTURAL DRAWINGS
- FOR SLAB FINISHED GRADES, SEE GRADING PLAN.
- ALL WOOD FOR GATES IS TO BE THRU-BOLTED TO TUBE FRAME WITH 3/8" GALVANIZED BOLTS AND HARDWARE.
- DUMPSTER ENCLOSURE MATERIAL: THIN STONE VENEER

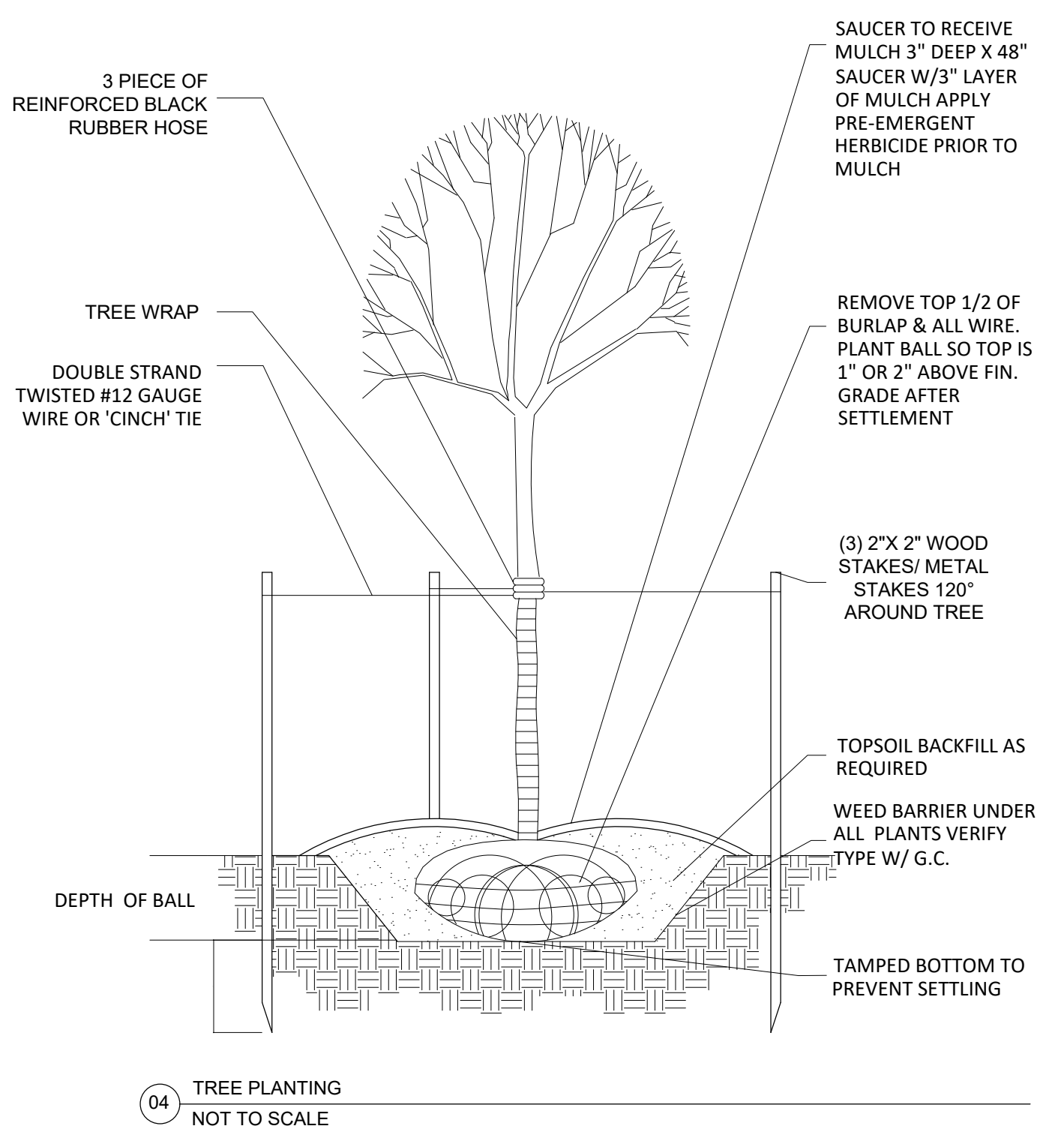
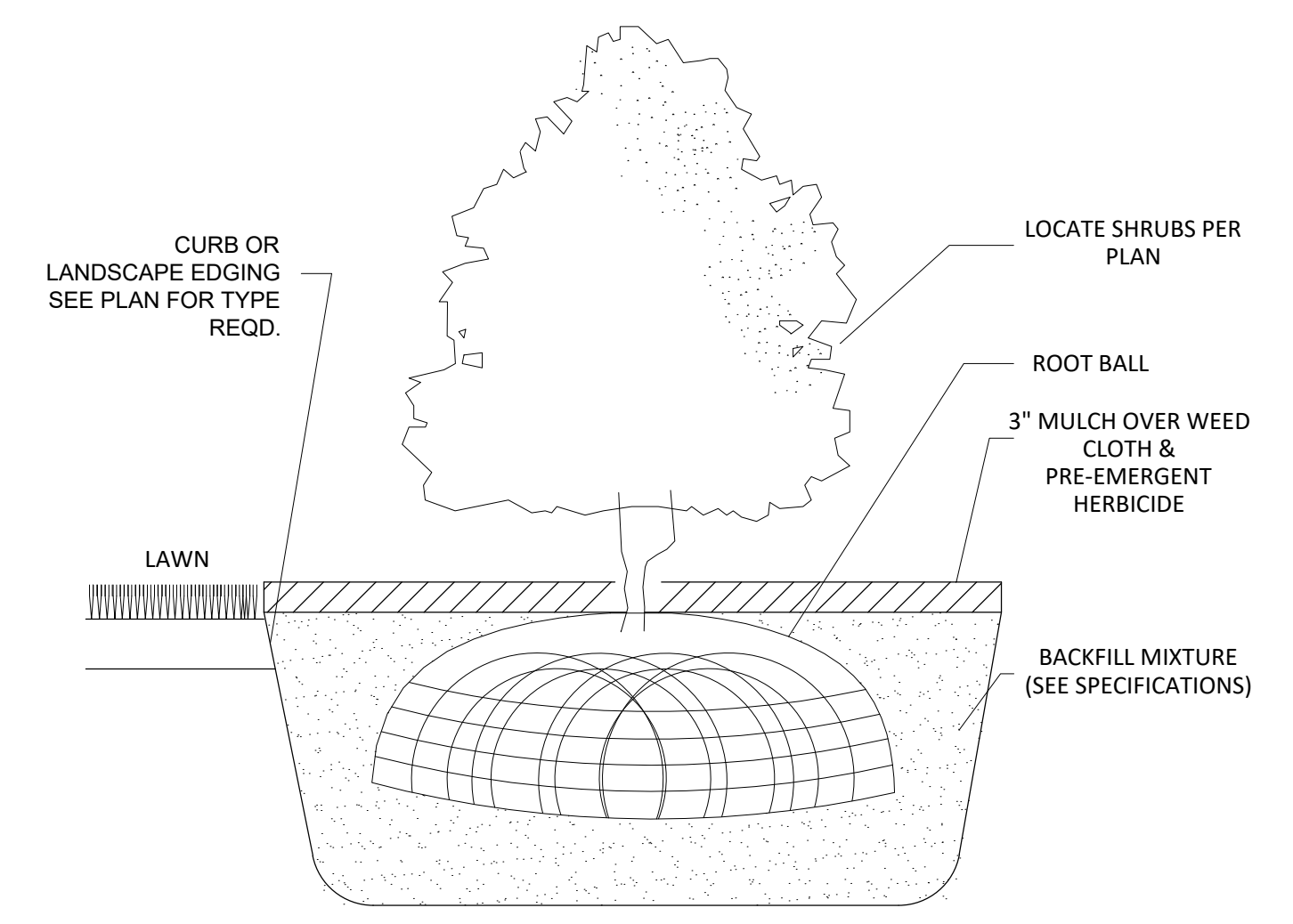
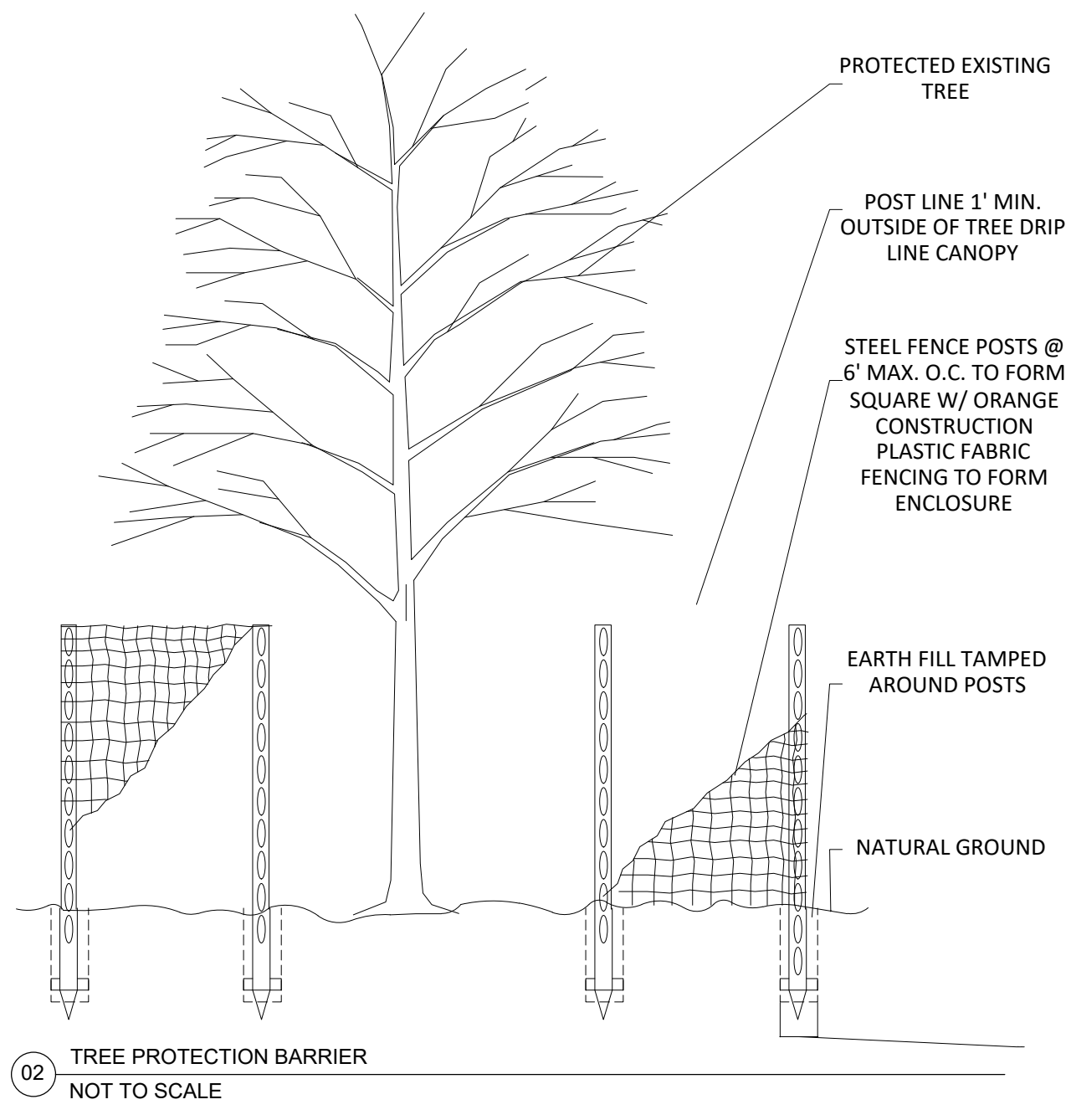


PLANT CALCULATIONS:

- 55 CANOPY TREES - TEXAS ASH 5" CALIPER
- 31 ACCENT TREES - DESERT WILLOW 5" CALIPER 6'-0" MIN. HEIGHT
- OVER 200 SHRUBS - MIN. 5 GALLON EACH
- 14,931 SF OF DETENTION POND AREA
- 1 NATIVE ORNAMENTAL GRASS PER 750 SF OF DETENTION POND AREA.
- 19 REQUIRED: 30 PAMPAS GRASSES PROVIDED

USE OF TIFF TUFF GRASS ON SLOPE AND IN POND. ALL FULLY IRRIGATED.

TYPE	SPECIES	SIZE OF PLANTING	QUANTITY
CANOPY	TEXAS ASH	4" CALIPER	55
CANOPY	TEXAS ASH	5" CALIPER IN 3-TIERED AREAS	
ACCENT	DESERT WILLOW	4 FOOT IN HEIGHT	31
SHRUB	BURFORD HOLLY	5 GALLON	200+
ORNAMENTAL GRASS	PAMPAS GRASS	5 GALLON	30



GENERAL REFERENCE: SECTION 212.009 OF CHAPTER 212, MUNICIPAL REGULATION OF SUBDIVISIONS AND PROPERTY DEVELOPMENT, OF THE TEXAS LOCAL GOVERNMENT CODE

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the [DAY] day of [MONTH], [YEAR].

WITNESS OUR HANDS, this _____ day of _____, 2023.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

SYMBOL LEGEND

- CANOPY TREE - TEXAS ASH
- ACCENT TREE - DESERT WILLOW OR EASTERN REDBUD
- PAMPAS GRASS
- SHRUB
- PUBLIC BENCH

- KEYED NOTES**
- 01 - HANDICAP SYMBOL & SIGN
 - 02 - PAVING
 - 03 - LANDSCAPING
 - 04 - SIDEWALK SAME LEVEL / ACCESSIBLE ROUTE
 - 05 - DUMPSTER
 - C-1 - 2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE
 - C-2 - 2 CANOPY TREES PROVIDED: COMPENSATORY MEASURE
 - C-3 - 3 TIER SCREENING: COMPENSATORY MEASURE
 - C-4 - 5" CALIPER CANOPY TREES: COMPENSATORY MEASURE
 - C-5 - PUBLIC BENCH: COMPENSATORY MEASURE
 - C-6 - OVERAGE LANDSCAPING (OVER REQUIRED SF): COMPENSATORY MEASURE

IMPERVIOUS COVERAGE

TOTAL PROPERTY AREA: 269,076 SF
 TOTAL IMPERVIOUS COVER: 205,736 SF
 TOTAL PERVIOUS COVER: 63,340 SF
 TOTAL % OF IMPERVIOUS COVER: 76.46%

- NOTES**
- CONTRACTOR SHALL APPLY FOR AND PROCURE ALL REQUIRED PERMITS TO COMMENCING WORK.
 - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR COMMENCING WORK. CONTACT UTILITIES COMPANIES MINIMUM 48 HOURS PRIOR ANY WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR BECOMING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, ETC. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF THESE UTILITIES.
 - CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGN WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN FORESEEN IN THE DESIGN. SUCH CONDITIONS SHALL BE BROUGHT UP TO THE OWNERS REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL REASONABILITY FOR ANY NECESSARY CHANGES DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
 - CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER SUBCONTRACTORS ON THE JOBSITE AS REQUIRED TO COMPLETE CONSTRUCTION.
 - CONTRACTOR TO PROVIDE SAMPLES OF EACH SHRUB AND GROUND COVER SPECIES OR NURSERY SOURCE FOR APPROVAL BY LANDSCAPE DESIGNER PRIOR TO INSTALLATION. ALL PLANTS ARE TO BE SPECIMEN QUALITY. FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND. PLANT MATERIAL OF THE SAME SPECIES SHALL BE OBTAINED FROM THE SAME SOURCE. MATERIAL SHALL BE SHIPPED DIRECTLY FROM NURSERY AND NOT FROM CONTRACTOR'S HOLDING YARD AFTER AN EXTENDED PERIOD.
 - CONTRACTORS SHALL BE RESPONSIBLE FOR QUANTITIES ON PLAN SHOWN BY SYMBOLS. THE PURPOSE IS FOR CONVENIENCE ONLY.
 - ALL PARKING SPACES WITHIN 80' OF A CANOPY TREE.

- GENERAL LANDSCAPE NOTES**
- ALL PLANTS SHALL BE FULL POT AND HEAD. SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE.
 - CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION OR TRENCHING. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARING OR REPLACING ANY DAMAGE TO UTILITIES OR OTHER IMPROVEMENTS.
 - GRADE SURFACE TO ENSURE AREAS DRAIN AWAY FROM STRUCTURES AND TO PREVENT PONDING AND POCKETS OF SURFACE DRAINAGE SPREAD AIR AVERAGE OF 1" SHARP SAND OVER ENTIRE AREA TO BE SOLID SODDED. HAND RAKE ENTIRE AREA PRIOR TO SODDING. OBTAIN OWNER'S REPRESENTATIVE'S APPROVAL OF GRADE PRIOR TO SODDING.
 - CONVENTIONAL SYSTEM. AN AUTOMATIC IRRIGATION PLAN WILL BE PROVIDED AND PERMITTED BY LANDSCAPE CONTRACTOR BASED ON ROCKWALL CITY UDC REGULATIONS.
 - ALL AREAS NOT COVERED WITH CONCRETE SHALL BE SOD WITH (SAN AGUSTIN)
 - ALLOW FOR FINISHED GRADE AT EDGE OF WALKS AND CURBS TO BE A MINIMUM OF 1" TO 1 1/2" BELOW TOP OF SIDEWALK AND CURBS AREAS SO GRASS WILL NOT HOLD WATER ON WALK AND SHALL BE CONSISTENT ALONG EDGE.
 - LANDSCAPE CONTRACTOR TO COORDINATE AND SCHEDULE HIS WORK WITH OTHER CONTRACTORS WORKING ON THE PROJECT SITE.
 - GENERAL CONTRACTOR TO PROTECT ALL EXISTING TREES TO REMAIN.
 - ALL LANDSCAPE BEDS SHALL BE RAISED TO PROVIDE ADEQUATE DRAINAGE
 - AFTER PLANTS/TREES HAVE BEEN INSTALLED PROVIDE AND INSTALL MULCH TO ALL LANDSCAPE BEDS.

LANDSCAPE CALCULATIONS

SITE AREA: 6.18 A.C.
 15% LANDSCAPING FRONT LOT: 40,380 SF MIN / 41,376 SF PROVIDED

STREET TREES REQUIRED: 1 TREE PER 50'-0" OF STREET FRONTAGE	
FRONTAGE ROAD 372' LF. CANOPY TREE	10 STREET TREES
FRONTAGE ROAD 372' LF. ACCENT TREE	18 STREET TREES
TOTAL STREET TREES PROVIDED	16 STREET TREES

FRONTAGE SHRUBS	
TOTAL SHRUBS PROVIDED	17 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

PARKING LOT TREES REQUIRED: 1 LARGE TREE FOR EACH 10 SPACES.	
110 SPACES / 10	12 PKNG. LOT TREES
TOTAL PARKING LOT TREES PROVIDED	17 PKNG. LOT TREES

LANDSCAPE SCREENING REQUIRED: 1 TREE PER 20'-0"	
87' LF. CANOPY TREE	5 STREET TREES
87' LF. ACCENT TREE	5 STREET TREES
TOTAL STREET TREES PROVIDED	10 STREET TREES

SCREENING SHRUBS PER AIRPORT REGULATION	
TOTAL SHRUBS PROVIDED	155 STREET SHRUBS

Berms and shrubbery shall have a total minimum height of 30-inches.

LANDSCAPE EASEMENT 10'-0"	
CANOPY TREE	22 STREET TREES

RS&G ENGINEERING

13501 KATY FREEWAY
 SUITE 3180
 HOUSTON, TEXAS 77079
 PH. 713-783-7777

project
ROCKWALL OFFICES WAREHOUSES
 at
 0 AIRPORT ROAD
 ROCKWALL, TX 75087

REVISIONS

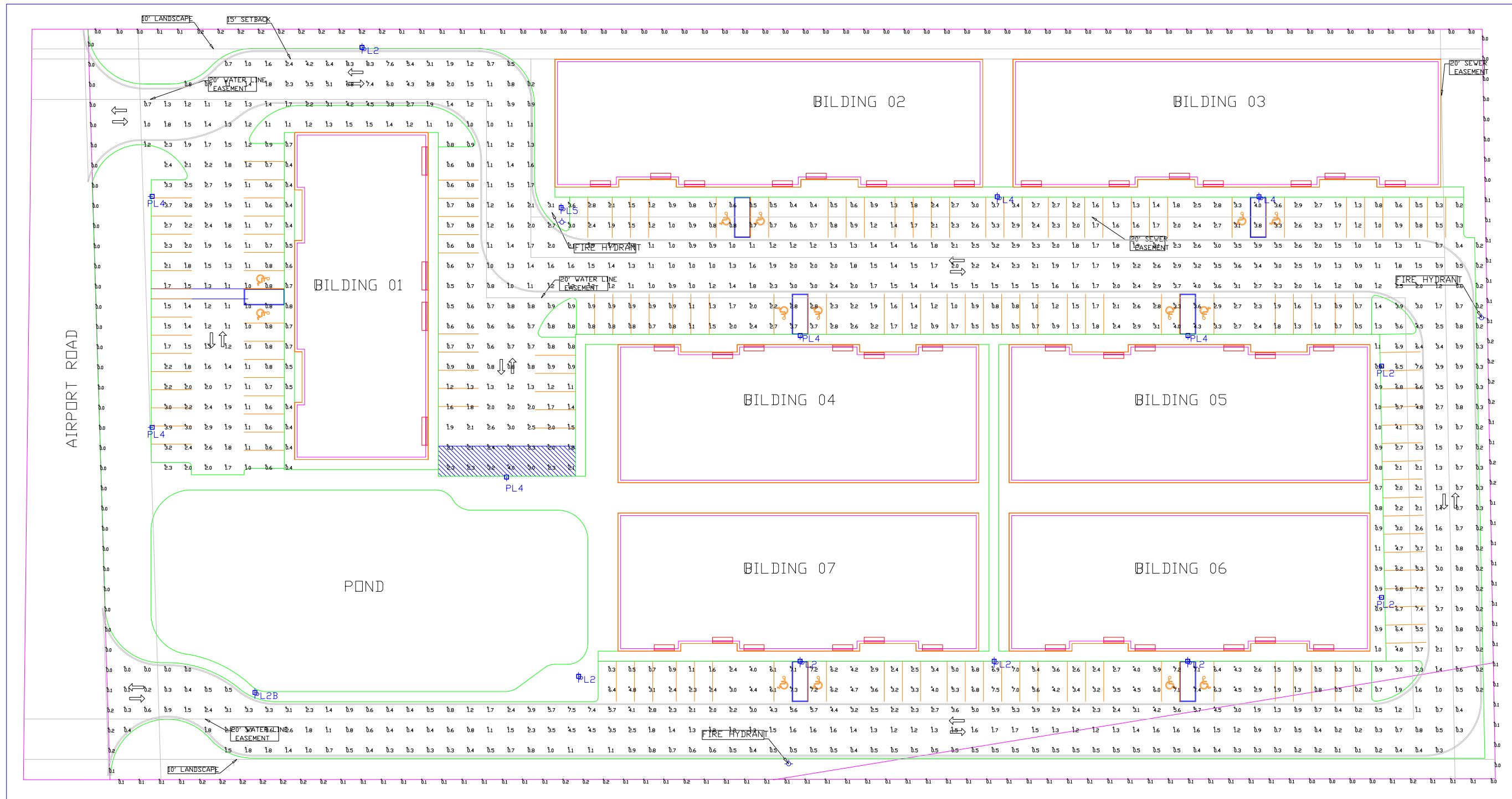
ISSUE DATE: 08/07/23

05/19/2023

LANDSCAPE

DRAWN BY: _____ CHECKED: _____

PROJECT No: 23420.02 SHEET No: A0.3



Luminaire Schedule							
Symbol	Label	Qty	Arrangement	Lum. Lumens	Lum. Watts	LLF	Description
□	PL2	7	Single	15594	151	0.950	Lumark PRV-PA2B-740-VOLT-T2R-HSS-FINISH
□	PL2B	1	Single	7815	74	0.950	Lumark PRV-PA1B-740-VOLT-T2R-HSS-FINISH
□	PL4	7	Single	14072	151	0.950	Lumark PRV-PA2B-740-VOLT-T4W-HSS-FINISH
□	PL5	1	Single	20332	151	0.950	Lumark PRV-PA2B-740-VOLT-5W0-FINISH

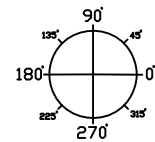
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line - Ground	Illuminance	Fc	0.07	0.2	0.0	N.A.	N.A.
SITE Paved Parking - Ground	Illuminance	Fc	1.90	8.3	0.0	N.A.	N.A.

Luminaire Location Summary	
Label	Mounting HT
PL2	22.5(30in Base Included)
PL2B	22.5(30in Base Included)
PL4	22.5(30in Base Included)
PL5	22.5(30in Base Included)

Peterson, Scharck & Assoc. / Keith Peterson / 08-08-23

Luminaire data is obtained according to IES procedures under laboratory conditions. Field results may differ from computer model due to many factors, including: ambient temperature, line voltage variations, lamp performance, installation, reflectances, and other site specific conditions.

**DRAWINGS FOR REVIEW ONLY
DO NOT USE AS CONSTRUCTION DOCUMENTS**



Peterson, Scharck, & Associates, Inc.

10855 Tanner Rd.
Houston, TX 77041
applications@psalighting.com

XXX
XXX

Rockwall
Flexspace Center
- Site Ltg

08-08-23
SR

Project		Catalog #		Type	
Prepared by		Notes		Date	



Lumark

Prevail Discrete LED

Area / Site Luminaire

Product Features



Product Certifications



Interactive Menu

- Ordering Information page 2
- Mounting Details page 3, 4
- Optical Configurations page 5
- Product Specifications page 5
- Energy and Performance Data page 6, 7
- Control Options page 8

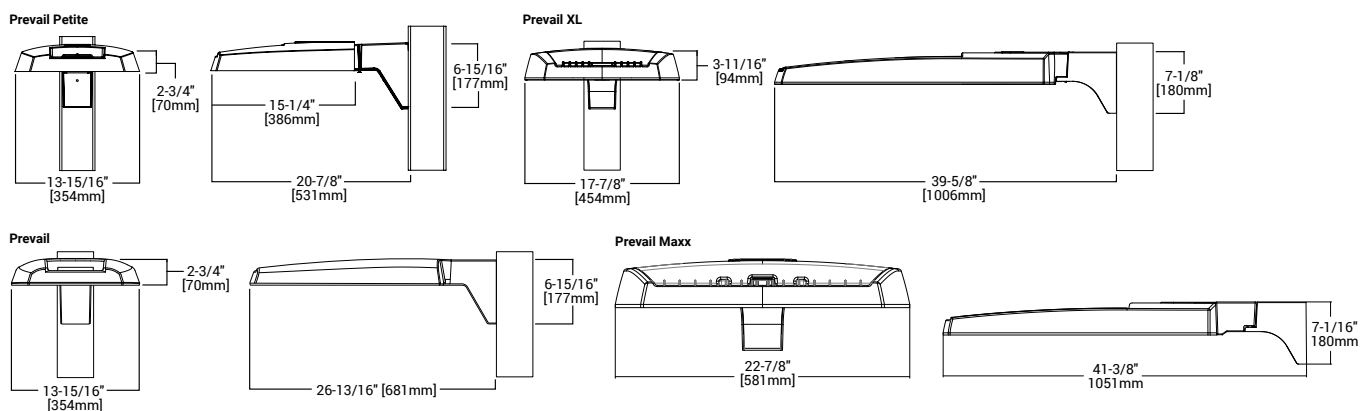
Quick Facts

- Direct-mounted discrete light engine for improved optical uniformity and visual comfort
- Lumen packages range from 4,300 - 68,000 nominal lumens (30W - 550W)
- Replaces 70W up to 1,000W HID equivalents
- Efficacies up to 157 lumens per watt
- Standard universal quick mount arm with universal drill pattern

Connected Systems

- WaveLinX

Dimensional Details




NOTES:
 1. Visit <https://www.designlights.org/search/> to confirm qualification. Not all product variations are DLC qualified.
 2. IDA Certified for 3000K CCT and warmer only.

Ordering Information

SAMPLE NUMBER: PRV-XL-PA4B-740-U-T4W-BZ

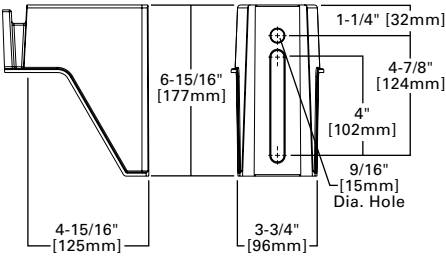
Product Family ^{1,2}	Light Engine		Color Temperature	Voltage	Distribution	Mounting (Included)	Finish								
	Configuration	Drive Current ⁴													
PRV-P=Prevail Petite BAA-PRV-P=Prevail Petite BAA Buy American Act Compliant ³ TAA-PRV-P=Prevail Petite TAA Trade Agreements Act Compliant ³	PA1=1 Panel, 24 LED Rectangle	A=400mA Nominal B=700mA Nominal C=950mA Nominal D=1200mA Nominal	740=70CRI, 4000K 730=70CRI, 3000K 750=70CRI, 5000K	U=Universal, 120-277V H=High Voltage, 347-480V 9=347V 8=480V ⁵ DV=DuraVolt, 277-480V ^{5,6}	T2R=Type II Roadway T2U=Type II Urban T3=Type III T4W=Type IV Wide 5WQ=Type V Square Wide	SA=QM Standard Versatile Arm MA=QM Mast Arm FMA=Fixed Mast Arm ²⁸ WM=QM Wall Mount Arm ADJA-WM= Adjustable Arm - Wall Mount ³⁰ ADJA=Adjustable Arm - Pole Mount ³⁰ ADJS=Adjustable Arm - Slipfitter, 3" vertical tenon ³⁰ SP2=Adjustable Arm - Slipfitter, 2 3/8" vertical tenon ^{28, 30}	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White								
PRV=Prevail BAA-PRV=Prevail BAA Buy American Act Compliant ³ TAA-PRV=Prevail TAA Trade Agreements Act Compliant ³	PA1=1 Panel, 24 LED Rectangle PA2=2 Panels, 48 LED Rectangles	A=700mA Nominal B=950mA Nominal													
PRV-XL=PRV XL BAA-PRV-XL=Prevail XL BAA Buy American Act Compliant ³ TAA-PRV-XL=Prevail XL TAA Trade Agreements Act Compliant ³	PA3=3 Panels, 72 LED Rectangles PA4=4 Panels, 96 LED Rectangles	A=750mA Nominal B=950mA Nominal													
PRV-M=Prevail Maxx BAA-PRV-M=Prevail Maxx BAA Buy American Act Compliant ³ TAA-PRV-M=Prevail Maxx TAA Trade Agreements Act Compliant ³	PA6= 6 Panels, 144 LED Rectangles	A=600mA Nominal B=800mA Nominal C=1000mA Nominal D=1200mA Nominal													
Options (Add as Suffix)				Accessories (Order Separately) ^{20, 21}											
<p>10K=10kV UL 1449 Fused Surge Protective Device 20MSP=20kV MOV Surge Protective Device 20K=20kV UL 1449 Fused Surge Protective Device L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right CC=Coastal Construction Finish ³¹ HSS=House Side Shield (Factory Installed) ⁷ HA=50°C High Ambient Temperature ⁸ PR=NEMA 3-PIN Twistlock Photocontrol Receptacle ¹⁰ PR7=NEMA 7-PIN Twistlock Photocontrol Receptacle ¹⁰ MS/DIM-L08=Motion Sensor for Dimming Operation, Up to 8' Mounting Height ^{11, 12, 13, 22} MS/DIM-L20=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height ^{11, 12, 13, 28, 29} MS/DIM-L40=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height ^{11, 12, 13} SPB1=Motion Sensor for Dimming Operation, BLE Interface, Up to 8' Mounting Height ^{11, 14, 22} SPB2=Motion Sensor for Dimming Operation, BLE Interface, 8' - 20' Mounting Height ^{11, 14, 28, 29} SPB4=Motion Sensor for Dimming Operation, BLE Interface, 21' - 40' Mounting Height ^{11, 14, 29} ZW=Wavelinx-enabled 4-PIN Twistlock Receptacle ^{11, 12} ZD=DALI-enabled 4-PIN Twistlock Receptacle ^{11, 12}</p>				<p>ZW-SWPD4XX=Wavelinx Pro, Dimming Motion and Daylight, WAC Programmable, 7' - 15' Mounting Height ^{11, 12, 15, 16, 17, 22} ZW-SWPD5XX=Wavelinx Pro, Dimming Motion and Daylight, WAC Programmable, 15' - 40' Mounting Height ^{11, 12, 15, 16, 17, 28, 29} ZD-SWPD4XX=Wavelinx Pro, SR Driver, Dimming Motion and Daylight, 7' - 15' Mounting Height ^{11, 12, 15, 16, 17, 22} ZD-SWPD5XX=Wavelinx Pro, SR Driver, Dimming Motion and Daylight, 15' - 40' Mounting Height ^{11, 12, 15, 16, 17, 28, 29} (See Table Below)=LumenSafe Integrated Network Security Camera ^{18, 19}</p>				<p>PRVSA-XX=Standard Arm Mounting Kit ²² PRVMA-XX=Mast Arm Mounting Kit ²² PRVWM-XX=Wall Mount Kit ²² PRV-ADJA-XX=Adjustable Arm - Pole Mount Kit ²² PRV-ADJS-XX=Adjustable Arm - Slipfitter Kit ²² PRV-ADJA-WM-XX=Adjustable Arm - Wall Mount Kit ²² PRVXLSA-XX=Standard Arm Mounting Kit ²⁹ PRVXLMMA-XX=Mast Arm Mounting Kit ²⁹ PRVXLWM-XX=Wall Mount Kit ²⁹ PRV-XL-ADJA-XX=Adjustable Arm - Pole Mount Kit ²⁹ PRV-XL-ADJA-WM-XX= Adjustable Arm - Wall Mount Kit ²⁹ PRV-XL-ADJS-XX= Adjustable Arm - Slipfitter Kit ²⁹ PRV-M-ADJA-XX=Adjustable Arm - Pole Mount Kit ²⁸ PRV-M-ADJS-XX=Adjustable Arm - Slipfitter Kit ²⁸ PRV-M-ADJA-WM-XX=Adjustable Arm - Wall Mount Kit ²⁸ MA1010-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1011-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon</p>				<p>MA1017-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1018-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon SRA238=Tenon Adapter from 3" to 2-3/8" PRV/DIS-FDV=Full Drop Visor ²³ PRVXL/DIS-FDV=Full Drop Visor ¹⁸ HSS-VP=House Side Shield Kit, Vertical Panel ^{7, 24} HSS-HP=House Side Shield Kit, Horizontal Panel ^{7, 24} VGS-ARCH= Panel Drop Shield, Short VGL-ARCH= Panel Drop Shield, Long OA/RA1013=Photocontrol Shorting Cap OA/RA1014=NEMA Photocontrol - 120V OA/RA1016=NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201=NEMA Photocontrol - 347V OA/RA1027=NEMA Photocontrol - 480V FSIR-100=Wireless Configuration Tool for Occupancy Sensor ²⁵ WOLC-7P-10A=Wavelinx Outdoor Control Module (7-PIN) ²⁷ SWPD4-XX=Wavelinx Wireless Sensor, 7' - 15' Mounting Height ^{15, 16, 17, 22, 28} SWPD5-XX=Wavelinx Wireless Sensor, 15' - 40' Mounting Height ^{15, 16, 17, 26, 28, 29}</p>			
<p>NOTES:</p> <ol style="list-style-type: none"> DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications. Refer to installation instructions and pole white paper WP513001EN for additional support information. Only product configurations with these designated prefixes are built to be compliant with the Buy American Act of 1933 (BAA) or Trade Agreements Act of 1979 (TAA), respectively. Please refer to DOMESTIC PREFERENCES website for more information. Components shipped separately may be separately analyzed under domestic preference requirements. Nominal drive currents shown here. For actual drive current by configuration, refer to Power and Lumens tables. 480V not to be used with ungrounded or impedance grounded systems. DuraVolt drivers feature added protection from power quality issues such as loss of neutral, transients and voltage fluctuations. Visit www.signify.com/duravolt for more information. House Side Shield not for use with 5WQ distribution. Not available with PA1D light engine in Petite housing (PRV-P). Coastal construction finish salt spray tested to over 5,000-hours per ASTM B117, with a scribe rating of 9 per ASTM D1654. If High Voltage (H) or DuraVolt (DV) is specified, use a photocontrol that matches the input voltage used. Controls system is not available in combination with a photocontrol receptacle (PR or PR7) or another controls system (MS, SPB, ZD, or ZW). Option not available with High Voltage (H) or DuraVolt (DV). Must specify Universal (U), 347V (9), or 480V (8) voltage. Utilizes the Wattstopper sensor FSP-211. Sensor color white unless specified otherwise via PDR. To field-configure, order FSIR-100 accessory separately. Utilizes the Wattstopper sensor FSP-3XX series. Sensor color determined by product finish. See Sensor Color Reference Table. Field-configures via mobile application. See Controls section for details. Sensor passive infrared (PIR) may be overly sensitive when operating below -20°C (-4°F). In order for the device to be field-configurable, requires WAC Gateway components WAC-PoE and WPOE-120 in appropriate quantities. Only compatible with WaveLinx system and software and requires system components to be installed for operation. See website for more Wavelinx application information. Replace XX with sensor color (WH, BZ or BK). Not available in PRV-XL configurations. Not available with High Voltage (H, DV, 8 or 9) or HA options. Consult LumenSafe system product pages for additional details and compatibility information. Replace XX with paint color. For BAA or TAA requirements, Accessories sold separately will be separately analyzed under domestic preference requirements. Consult factory for further information. Not for use with PRV-XL or PRV-M configurations. Only for use with PRV. Not applicable to PRV-M, PRV-XL, or PRV-P. Must order one per optic/LED when ordering as a field-installable accessory (1, 2, 3, 4, or 6). Refer to House Side Shield reference table for details. This tool enables adjustment to Motion Sensor (MS) parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative for more information. Requires 4-PIN twistlock receptacle option (ZD or ZW) option. Requires 7-PIN NEMA twistlock photocontrol receptacle (PR7) option. The WOLC-7 cannot be used in conjunction with other controls systems (MS, ZD, ZW or LWR). Only for use at 120-347V. Only available for PRV-M configurations. Only for use with PRV-XL. Fixed for PRV-M 															

LumenSafe Integrated Network Security Camera Technology Options (Add as Suffix)

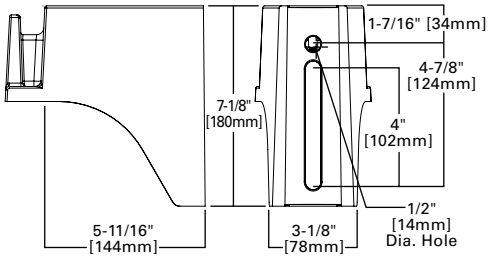
Product Family	Camera Type	Data Backhaul
L=LumenSafe Technology 	H=Dome Camera, High Res Z=Dome Camera, Remote PTZ	C=Cellular, Customer Installed SIM Card A=Cellular, Factory Installed AT&T SIM Card V=Cellular, Factory Installed Verizon SIM Card S=Cellular, Factory Installed Sprint SIM Card E=Ethernet Networking

Mounting Details

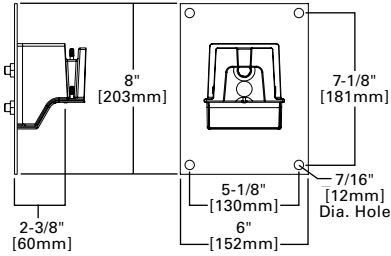
SA=QM Pole Mount Arm (PRV & PRV-P)



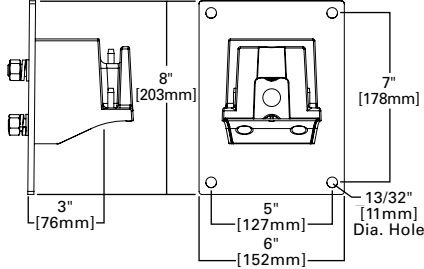
SA=QM Pole Mount Arm (PRV-XL)



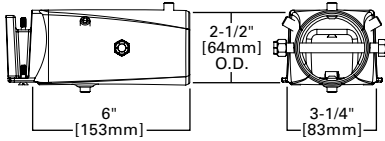
WM=QM Wall Mount Arm (PRV & PRV-P)



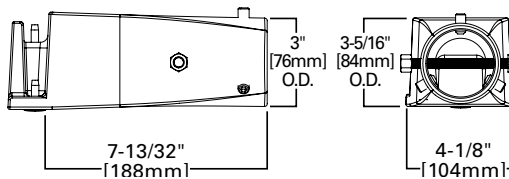
WM=QM Wall Mount Arm (PRV-XL)



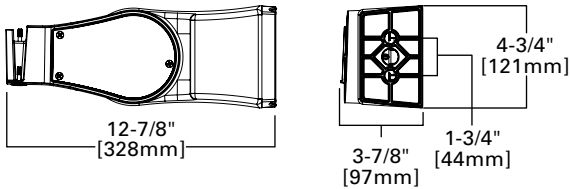
MA=QM Mast Arm (PRV & PRV-P)



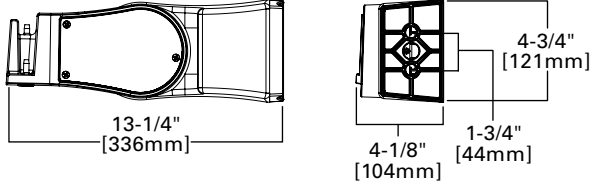
MA=QM Mast Arm (PRV-XL)



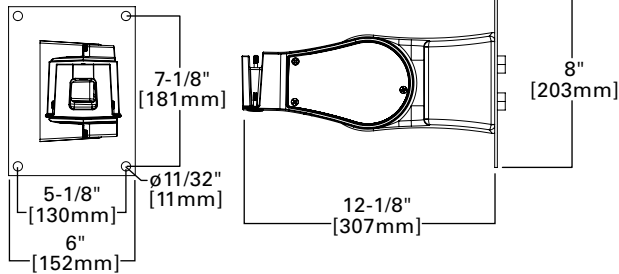
ADJA=Adjustable Arm Pole Mount (PRV & PRV-P)



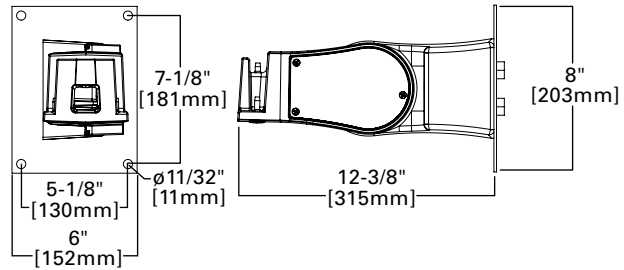
ADJA=Adjustable Arm Pole Mount (PRV-XL)



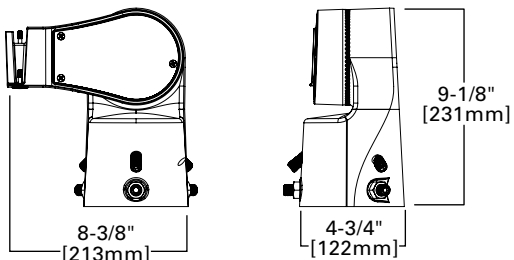
ADJA-WM=Adjustable Arm Wall Mount (PRV & PRV-P)



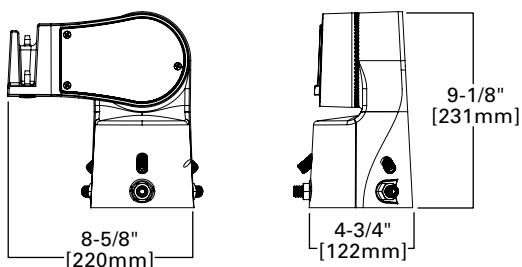
ADJA-WM=Adjustable Arm Wall Mount (PRV-XL)



ADJS=Adjustable Slipfitter 3 (PRV & PRV-P)

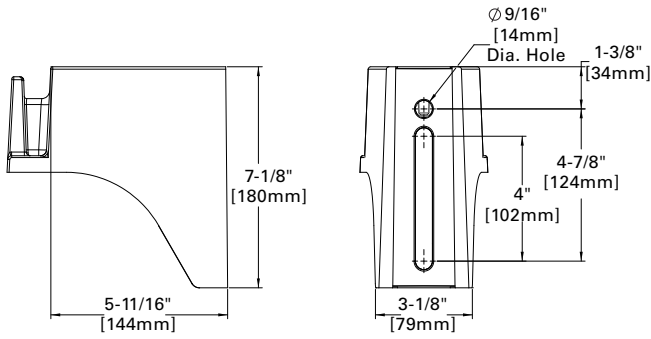


ADJS=Adjustable Slipfitter 3 (PRV-XL)

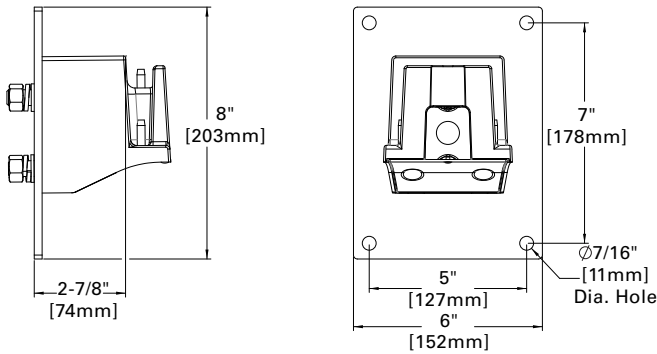


Mounting Details

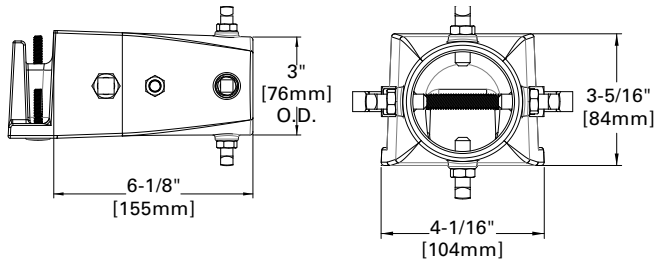
SA=QM Pole Mount Arm (PRV-M)



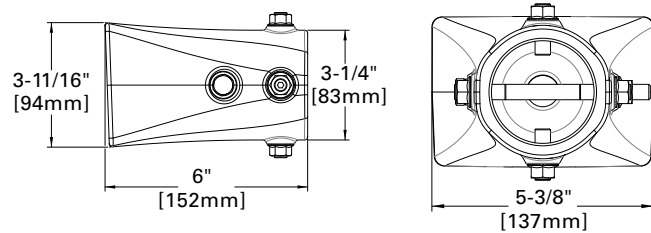
WM=QM Wall Mount Arm (PRV-M)



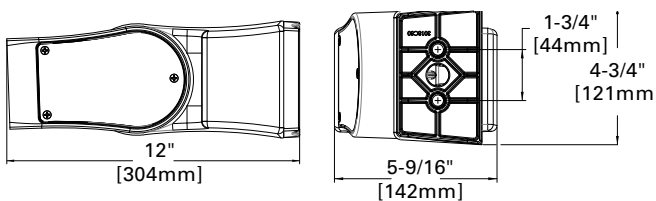
MA=QM Mast Arm (PRV-M)



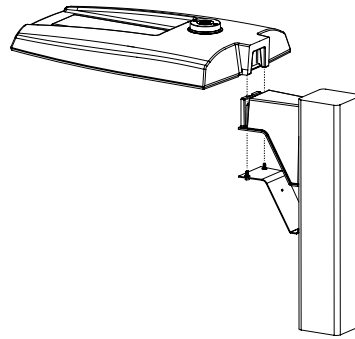
FMA=Fixed Mast Arm (PRV-M)



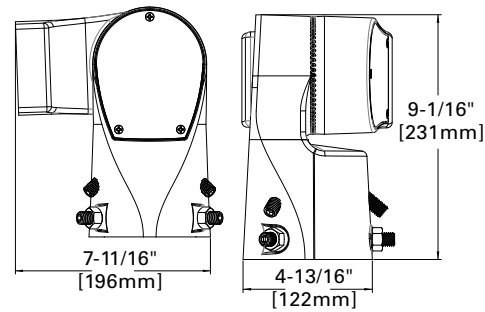
DM=Direct Pole Mount Arm (PRV-M)



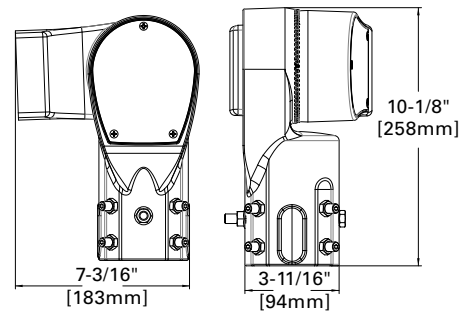
Versatile Mount System



ADJS=Adjustable Slipfitter (PRV-M)



SP2=Adjustable Slipfitter 2-3/8" (PRV-M)



Mounting Details

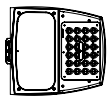
Mounting Configurations and EPAs

NOTE: For 2 PRV's mounted at 90°, requires minimum 3" square or 4" round pole for fixture clearance. For 2 PRV-XL's mounted at 90°, requires minimum 4" square or round pole for fixture clearance. Customer is responsible for engineering analysis to confirm pole and fixture compatibility for applications

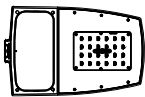
Housing Size	Tilt Angle (Degrees)	Arm Mount Single	Arm Mount 2 @ 180°	Arm Mount 2 @ 90°	Arm Mount 3 @ 90°	Arm Mount 4 @ 90°
Prevail Petite	0°	0.54	1.08	0.84	1.38	1.38
	60°	1.68	1.85	2.42	3.15	3.30
Prevail	0°	0.92	1.35	1.42	1.63	1.63
	60°	2.20	2.40	3.05	3.88	4.07
	60° + Full Drop Visor	2.20	2.40	3.25	4.28	4.47
Prevail XL	0°	1.12	2.25	2.13	2.52	2.52
	60°	3.99	4.30	5.26	6.51	6.79
	60° + Full Drop Visor	3.99	4.30	5.59	7.17	7.49
Prevail Maxx	0°	1.28	2.56	1.7	2.69	2.69
	60°	5.09	5.52	6.34	7.49	7.81

Optical Configurations

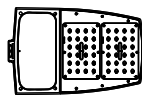
PRV-P-PA1X



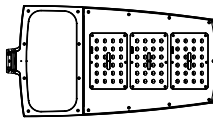
PRV-PA1X



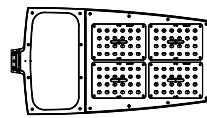
PRV-PA2X



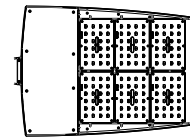
PRV-XL-PA3X



PRV-XL-PA4X

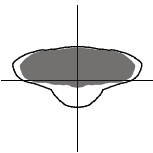


PRV-M-PA6X

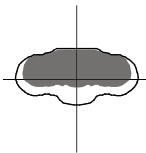


Optical Distributions

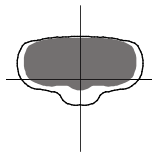
T2R
(Type II Roadway)



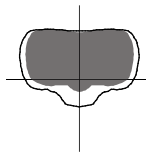
T2U
(Type II Urban)



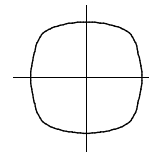
T3
(Type III)



T4W
(Type IV Wide)



5WQ
(Type V Square Wide)



■ = Distribution with House Side Shield (HSS)
□ = Optical Distribution

Product Specifications

Construction

- Single-piece die-cast aluminum housing
- Tethered die-cast aluminum door

Optics

- Dark Sky Approved (3000K CCT and warmer only)
- Precision molded polycarbonate optics

Electrical

- -40°C minimum operating temperature
- 40°C maximum operating temperature
- >.9 power factor
- <20% total harmonic distortion
- Class 1 electronic drivers have expected life of 100,000 hours with <1% failure rate
- 0-10V dimming driver is standard with leads external to the fixture
- Standard MOV surge protective device designed to withstand 10kV of transient line surge

Mounting

- Versatile, patented, standard mount arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8" (Type M drilling recommended for new installations)
- A knock-out on the standard mounting arm enables round pole mounting
- Adjustable pole and wall mount arms adjust in 5° increments from 0° to 60°; Downward facing orientation only (Type N drilling required for ADJA mount)
- Adjustable slipfitter arm adjusts in 5° increments from -5° to 85°; Downward facing orientation only
- Prevail and Prevail Petite: 3G vibration rated (all arms)
- Prevail XL Mast Arm: 3G vibration rated
- Prevail XL Standard Arm: 1.5G vibration rated
- Adjustable Arms: 1.5G vibration rated

Finish

- Five-stage super TGIC polyester powder coat paint, 2.5 mil nominal thickness
- Finish is compliant to 3,000 hour salt spray standard (per ASTM B117)

Typical Applications

- Parking lots, Walkways, Roadways and Building Areas

Shipping Data

- Prevail Petite: 18 lbs. (7.94 kgs.)
- Prevail: 20 lbs. (9.09 kgs.)
- Prevail XL: 45 lbs. (20.41 kgs.)
- Prevail Maxx: 49 lbs. (22.23 kgs.)

Warranty

- Five year limited warranty, consult website for details. www.cooperlighting.com/legal

Energy and Performance Data

Power and Lumens

[View PRV-P IES files](#)

[View PRV IES files](#)

[View PRV-XL IES files](#)

Product Family		Prevail Petite				Prevail				Prevail XL				Prevail Maxx			
Light Engine		PA1A	PA1B	PA1C	PA1D	PA1A	PA1B	PA2A	PA2B	PA3A	PA3B	PA4A	PA4B	PA6A	PA6B	PA6C	PA6D
Power (Watts)		31	53	72	93	54	74	113	151	172	234	245	303	274	366	457	544
Drive Current (mA)		375	670	930	1200	670	930	720	970	750	980	785	970	600	800	1000	1200
Input Current @ 120V (A)		0.26	0.44	0.60	0.78	0.45	0.62	0.93	1.26	1.44	1.95	2.04	2.53	2.30	3.05	3.83	4.54
Input Current @ 277V (A)		0.12	0.20	0.28	0.35	0.21	0.28	0.41	0.55	0.62	0.85	0.93	1.12	0.99	1.30	1.62	1.94
Input Current @ 347V (A)		0.10	0.17	0.23	0.29	0.17	0.23	0.33	0.45	0.52	0.70	0.74	0.90	0.78	1.05	1.32	1.60
Input Current @ 480V (A)		0.07	0.13	0.17	0.22	0.12	0.17	0.24	0.33	0.39	0.52	0.53	0.65	0.58	0.76	0.95	1.14
Distribution																	
Type II Roadway	4000K/5000K Lumens	4,505	7,362	9,495	11,300	7,605	9,896	15,811	19,745	24,718	30,648	34,067	39,689	41,611	52,596	61,921	67,899
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	147	139	132	121	141	134	141	131	144	131	139	131	152	144	135	125
	3000K Lumens ¹	4,103	6,705	8,647	10,291	6,926	9,012	14,399	17,982	22,511	27,912	31,025	36,145	37,896	47,900	56,392	61,837
Type II Roadway w/ HSS	4000K/5000K Lumens	3,727	6,091	7,855	9,349	6,006	7,815	12,487	15,594	19,521	24,204	26,094	31,334	32,874	41,553	48,919	53,642
	BUG Rating	B0-U0-G1	B0-U0-G2	B0-U0-G2	B1-U0-G2	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G4	B1-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5
	Lumens per Watt	121	115	109	100	111	106	111	103	113	103	107	103	120	114	107	99
	3000K Lumens ¹	3,394	5,547	7,154	8,514	5,470	7,117	11,372	14,201	17,778	22,043	24,502	28,545	29,939	37,843	44,552	48,853
Type II Urban	4000K/5000K Lumens	4,496	7,347	9,476	11,277	7,597	9,886	15,795	19,724	24,692	30,616	34,031	39,647	41,372	52,294	61,565	67,509
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G4	B4-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	146	139	131	121	141	134	141	131	144	131	139	131	151	143	135	124
	3000K Lumens ¹	4,095	6,691	8,630	10,271	6,919	9,003	14,384	17,963	22,488	27,882	30,992	36,107	37,678	47,625	56,068	61,481
Type II Urban w/ HSS	4000K/5000K Lumens	3,253	5,316	6,856	8,160	5,297	6,893	11,013	13,753	17,217	21,347	23,728	27,644	28,951	36,594	43,082	47,241
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5
	Lumens per Watt	106	101	95	87	98	93	97	91	100	91	97	91	106	100	94	87
	3000K Lumens ¹	2,963	4,841	6,244	7,431	4,824	6,277	10,029	12,525	15,680	19,441	21,609	25,176	26,366	33,327	39,235	43,023
Type III	4000K/5000K Lumens	4,443	7,261	9,364	11,145	7,575	9,857	15,749	19,667	24,621	30,527	33,932	39,532	41,155	52,020	61,242	67,155
	BUG Rating	B1-U0-G1	B1-U0-G2	B2-U0-G2	B2-U0-G2	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	145	138	130	119	140	133	141	130	143	130	138	130	150	142	134	123
	3000K Lumens ¹	4,046	6,612	8,528	10,150	6,899	8,977	14,343	17,911	22,423	27,802	30,903	36,002	37,480	47,375	55,774	61,159
Type III w/ HSS	4000K/5000K Lumens	3,406	5,566	7,179	8,543	5,592	7,277	11,626	14,519	18,176	22,536	25,049	29,183	30,159	38,121	44,879	49,212
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	111	105	100	91	104	98	103	96	106	96	102	96	110	104	98	90
	3000K Lumens ¹	3,102	5,069	6,538	7,781	5,093	6,627	10,588	13,222	16,553	20,524	22,813	26,578	27,466	34,717	40,872	44,818
Type IV Wide	4000K/5000K Lumens	4,348	7,106	9,164	10,906	7,484	9,738	15,560	19,431	24,325	30,161	33,525	39,057	41,207	52,086	61,320	67,240
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5
	Lumens per Watt	142	135	127	117	139	132	139	129	141	129	137	129	151	142	134	124
	3000K Lumens ¹	3,960	6,471	8,346	9,932	6,816	8,869	14,170	17,696	22,153	27,468	30,531	35,570	37,528	47,435	55,845	61,236
Type IV Wide w/ HSS	4000K/5000K Lumens	3,318	5,422	6,993	8,323	5,420	7,053	11,268	14,072	17,617	24,843	24,279	28,286	30,005	37,926	44,650	48,961
	BUG Rating	B0-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G4	B2-U0-G4	B2-U0-G4	B2-U0-G5	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
	Lumens per Watt	108	103	97	89	100	95	100	93	102	106	99	93	110	104	98	90
	3000K Lumens ¹	3,022	4,938	6,369	7,580	4,936	6,423	10,262	12,816	16,044	19,892	22,111	25,760	27,326	34,540	40,664	44,589
Type V Square Wide	4000K/5000K Lumens	4,497	7,349	9,478	11,280	7,831	10,190	16,281	20,332	25,453	31,559	35,079	40,868	42,947	54,285	63,909	70,079
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B3-U0-G2	B4-U0-G3	B4-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G5
	Lumens per Watt	146	139	131	121	145	138	145	135	148	135	143	135	157	143	136	129
	3000K Lumens ¹	4,095	6,693	8,632	10,273	7,132	9,280	14,827	18,517	23,180	28,741	31,947	37,219	39,112	49,438	58,203	63,822

NOTES:
1. For 3000K or HSS BUG Ratings, refer to published IES files

Energy and Performance Data

House Side Shield Reference Table

Product Family		Prevail	Prevail		Prevail XL		Prevail Maxx
Light Engine		PA1	PA1	PA2	PA3	PA4	PA6
Rotated Optics	Standard	HSS-HP (Qty 1)	HSS-VP (Qty 1)	HSS-HP (Qty 2)	HSS-HP (Qty 3)	HSS-VP (Qty 4)	HSS-HP (qty 6)
	L90 or R90 option	HSS-VP (Qty 1)	HSS-HP (Qty 1)	HSS-VP (Qty 2)	HSS-VP (Qty 3)	HSS-HP (Qty 4)	HSS-VP (qty 6)

Sensor Color Reference Table (SPBx)

Housing Finish	Sensor Color
AP=Grey	Grey
BZ=Bronze	Bronze
BK=Black	Black
DP=Dark Platinum	Grey
GM=Graphite Metallic	Black
WH=White	White

Lumen Multiplier

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

Lumen Maintenance

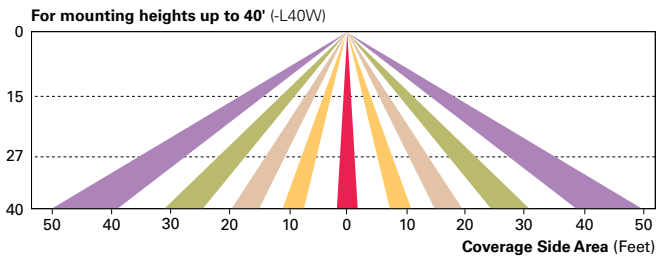
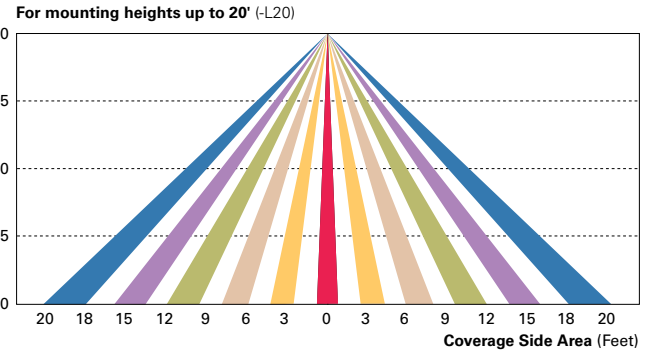
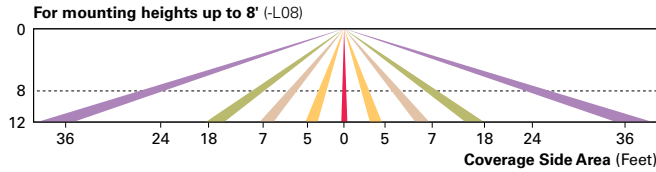
Ambient Temperature	TM-21 Lumen Maintenance (78,000 Hours)	Theoretical L70 (Hours)
Up to 50°C	96.76%	> 896,000

Control Options

0-10V This fixture provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (PR and PR7) Photocontrol receptacles provide a flexible solution to enable “dusk-to-dawn” lighting by sensing light levels. Advanced control systems compatible with NEMA 7-PIN standards can be utilized with the PR7 receptacle.

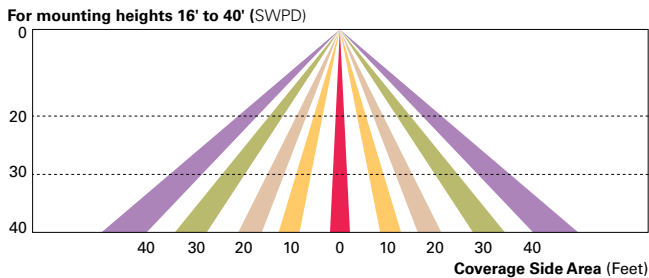
Dimming Occupancy Sensor (SPB, MS/DIM-LXX) These sensors are factory installed in the luminaire housing. When the SPB or MS/DIM sensor options are selected, the luminaire will dim down after five minutes of no activity detected. When activity is detected, the luminaire returns to full light output. These occupancy sensors include an integral photocell for “dusk-to-dawn” control or “daylight harvesting.” Factory default is enabled for the MS sensors and disabled for the SPB. SPB motion sensors require the Sensor Configuration mobile application by Wattstopper to change factory default dimming level, time delay, sensitivity and other parameters. Available for iOS and Android devices. The SPB sensor is factory preset to dim down to approximately 10% power with a time delay of five minutes.



WaveLinx Wireless Control and Monitoring System Available in 7-PIN or 4-PIN configurations, the WaveLinx Outdoor control platform operates on a wireless mesh network based on IEEE 802.15.4 standards enabling wireless control of outdoor lighting. At least one Wireless Area Controller (WAC) is required for full functionality and remote communication (including adjustment of any factory pre-sets).

WaveLinx Outdoor Control Module (WOLC-7P-10A) A photocontrol that enables astronomical or time-based schedules to provide ON, OFF and dimming control of fixtures utilizing a 7-PIN receptacle. The out-of-box functionality is ON at dusk and OFF at dawn.

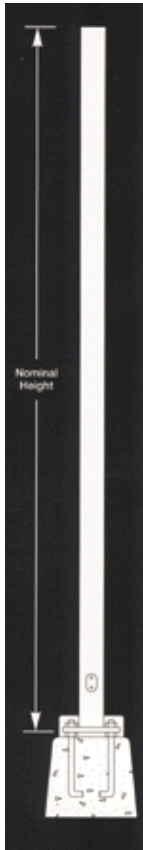
WaveLinx Wireless Sensor (SWPD4 and SWPD5) These outdoor sensors offer passive infrared (PIR) occupancy sensing and a photocell for closed-loop daylight sensing. These sensors can be factory installed or field-installed via simple, tool-less integration into luminaires equipped with the Zhaga Book 18 compliant 4-PIN receptacle (ZD or ZW). These sensors are factory preset to dim down to approximately 50 percent power after 15 minutes of no activity detected, and the photocell for “dusk-to-dawn” control is default enabled. A variety of sensor lenses are available to optimize the coverage pattern for mounting heights from 7'-40'.



LumenSafe (LD) The LumenSafe integrated network camera is a streamlined, outdoor-ready camera that provides high definition video surveillance. This IP camera solution is optimally designed to integrate into virtually any video management system or security software platform of choice. No additional wiring is needed beyond providing line power to the luminaire. LumenSafe features factory-installed power and networking gear in a variety of networking options allowing security integrators to design the optimal solution for active surveillance.



SSP Square Non-Tapered Steel Poles



SSP

Pole Shaft

The pole shaft is one piece construction, being fabricated from a weldable grade carbon steel structural tubing which has a uniform wall thickness of 11 gauge (0.1196"), 7 gauge (0.1793"), or 3 gauge (0.2391"). The pole shaft material shall conform to ASTM A-500 Grade C with a minimum yield strength of 50,000 psi. The pole shaft has a full length longitudinal resistance weld and is uniformly square in cross-section with flat sides, small corner radii and excellent torsional properties.

Base Plate

The anchor base is fabricated from structural quality hot rolled carbon steel plate that meets or exceeds a minimum yield strength of 36,000 psi. The anchor base telescopes the pole shaft and is circumferentially welded top and bottom. All welds are performed in accordance with the American Welding Society specification AWS D1.1, latest edition.

Anchor Bolts

Anchor bolts are fabricated from commercial quality hot rolled carbon steel bar that meets or exceeds a minimum yield strength of 55,000 psi. Four properly sized anchor bolts, each with two regular hex nuts and washers, are furnished and shipped with all poles unless otherwise specified. Anchor bolts shall have the threaded end galvanized a minimum of 8 inches in accordance with ASTM A-153. Fully galvanized anchor bolts are available upon request.

Handhole

An oval reinforced gasketed handhole, having a nominal 3" x 5" or 4" x 6-1/2" inside opening, located 1'-6" above base, is standard on all poles. Optional 5" x 8" and 4" x 10" handholes are available (see options). A grounding provision is located inside the handhole ring.

Finishes

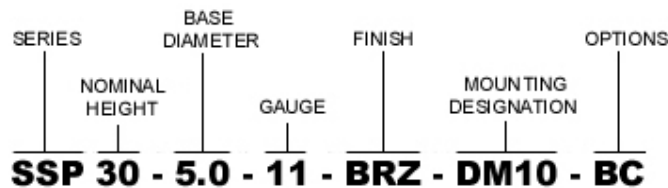
The [Standard Finish](#) is a polyester thermosetting powder coating applied to the surface of the substrate to a minimum of 3 mils for all color finishes. [Hot dip Galvanized](#) finish to a ASTM A-123 specification or primed finish is also available. For optional finishes, see [K-KLAD](#) and [K-KLAD Over Galvanizing](#).

HOW TO ORDER

When ordering KW lighting standards, mounting adaptors and accessories, be sure to specify the complete catalog number. Our catalog numbers reflect the precise specifications of the item ordered to ensure our customers will receive the product which meets their exact requirements.

The following explanation of the catalog numbers will be helpful in placing orders:

CATALOG LOGIC - ORDERING SAMPLE



Catalog Number	Nominal Height	Pole Shaft	Gauge	Handhole Size	Anchor Bolt	Bolt Circle	80 MPH	90 MPH	100 MPH	Ship WT.
SSP10-4.0-11	10	4.0 x 10.0	11	3 x 5	0.75 x 17 x 3	8	42.1	33.5	27.1	87
SSP10-4.0-7	10	4.0 x 10.0	7	3 x 5	0.75 x 30 x 3	8	55	44	35.5	130
SSP10-5.0-11	10	5.0 x 10.0	11	3 x 5	1.00 x 36 x 4	11	58	44	34	151
SSP12-4.0-11	12	4.0 x 12.0	11	3 x 5	0.75 x 17 x 3	8	33.7	26.7	21.4	100
SSP12-4.0-7	12	4.0 x 12.0	7	3 x 5	0.75 x 30 x 3	8	47.5	37.3	29.8	150
SSP12-5.0-11	12	5.0 x 12.0	11	3 x 5	1.00 x 36 x 4	11	49	38	29	168
SSP14-4.0-11	14	4.0 x 14.0	11	3 x 5	0.75 x 17 x 3	8	27.4	21.5	17.1	113
SSP14-4.0-7	14	4.0 x 14.0	7	3 x 5	0.75 x 30 x 3	8	40	31	24.5	170

SSP14-5.0-11	14	5.0 x 14.0	11	3 x 5	1.00 x 36 x 4	11	40	30	23	184
SSP14-5.0-7	14	5.0 x 14.0	7	3 x 5	1.00 x 36 x 4	11	65	52	41.5	242
SSP15-4.0-11	15	4.0 x 15.0	11	3 x 5	0.75 x 17 x 3	8	20.7	16.1	12.6	119
SSP15-4.0-7	15	4.0 x 15.0	7	3 x 5	0.75 x 30 x 3	8	30.9	24.4	19.6	172
SSP15-5.0-11	15	5.0 x 15.0	11	3 x 5	1.00 x 36 x 4	11	36	27.5	21	192
SSP15-5.0-7	15	5.0 x 15.0	7	3 x 5	1.00 x 36 x 4	11	59	46.5	37	254
SSP16-4.0-11	16	4.0 x 16.0	11	3 x 5	0.75 x 17 x 3	8	18.7	14.4	11.2	125
SSP16-4.0-7	16	4.0 x 16.0	7	3 x 5	0.75 x 30 x 3	8	27.2	20.7	16	210
SSP16-5.0-11	16	5.0 x 16.0	11	3 x 5	1.00 x 36 x 4	11	33.5	25	18	201
SSP16-5.0-7	16	5.0 x 16.0	7	3 x 5	1.00 x 36 x 4	11	54	43	34	266
SSP18-4.0-11	18	4.0 x 18.0	11	3 x 5	0.75 x 17 x 3	8	15.2	11.5	8.7	138
SSP18-4.0-7	18	4.0 x 18.0	7	3 x 5	0.75 x 30 x 3	8	27.2	20.7	16	210
SSP18-5.0-11	18	5.0 x 18.0	11	3 x 5	1.00 x 36 x 4	11	27	19.5	15	218
SSP18-5.0-7	18	5.0 x 18.0	7	3 x 5	1.00 x 36 x 4	11	46	36	28	291
SSP20-4.0-11	20	4.0 x 20.0	11	3 x 5	0.75 x 17 x 3	8	12.3	9	6.5	151
SSP20-4.0-7	20	4.0 x 20.0	7	3 x 5	0.75 x 30 x 3	8	19.6	15	11.5	219
SSP20-5.0-11	20	5.0 x 20.0	11	3 x 5	1.00 x 36 x 4	11	22.2	16.8	12.6	235
SSP20-5.0-7	20	5.0 x 20.0	7	3 x 5	1.00 x 36 x 4	11	35.4	27.5	21.5	313
SSP20-6.0-7	20	6.0 x 20.0	7	3 x 5	1.00 x 36 x 4	11.5	56	42.5	33.5	368
SSP22-4.0-11	22	4.0 x 22.0	11	3 x 5	0.75 x 17 x 3	8	6.9	4.3	2.3	182
SSP22-4.0-7	22	4.0 x 22.0	7	3 x 5	0.75 x 30 x 3	8	12.2	8.7	6	266
SSP22-5.0-11	22	5.0 x 22.0	11	3 x 5	1.00 x 36 x 4	11	18.5	13.6	9.8	252
SSP22-5.0-7	22	5.0 x 22.0	7	3 x 5	1.00 x 36 x 4	11	30.2	23.2	17.8	337
SSP22-6.0-7	22	6.0 x 22.0	7	3 x 5	1.00 x 36 x 4	11.5	49	37.5	28	398
SSP24-4.0-7	24	4.0 x 24.0	7	3 x 5	0.75 x 30 x 3	8	12.2	8.7	6	266
SSP24-5.0-11	24	5.0 x 24.0	11	3 x 5	1.00 x 36 x 4	11	15.2	10.8	7.4	268
SSP24-5.0-7	24	5.0 x 24.0	7	3 x 5	1.00 x 36 x 4	11	25.8	19.4	14.6	361
SSP24-6.0-7	24	6.0 x 24.0	7	3 x 5	1.00 x 36 x 4	11.5	42	31.5	23	428
SSP25-4.0-11	25	4.0 x 25.0	11	3 x 5	0.75 x 17 x 3	8	6.9	4.3	2.3	182
SSP25-4.0-7	25	4.0 x 25.0	7	3 x 5	0.75 x 30 x 3	8	12.2	8.7	6	266
SSP25-5.0-11	25	5.0 x 25.0	11	3 x 5	1.00 x 36 x 4	11	13.8	9.5	6.3	276
SSP25-5.0-7	25	5.0 x 25.0	7	3 x 5	1.00 x 36 x 4	11	23.8	17.7	13.1	373
SSP25-6.0-7	25	6.0 x 25.0	7	3 x 5	1.00 x 36 x 4	11.5	39	28.5	21	443
SSP26-4.0-7	26	4.0 x 26.0	7	3 x 5	0.75 x 30 x 3	8	6.9	4	1	312
SSP26-5.0-11	26	5.0 x 26.0	11	3 x 5	1.00 x 36 x 4	11	12.4	8.3	5.2	284
SSP26-5.0-7	26	5.0 x 26.0	7	3 x 5	1.00 x 36 x 4	11	21.9	16.1	11.8	384
SSP26-6.0-7	26	6.0 x 26.0	7	3 x 5	1.00 x 36 x 4	11.5	35.5	25.5	18.5	457
SSP28-4.0-7	28	4.0 x 28.0	7	3 x 5	0.75 x 30 x 3	8	6.9	4	1	312
SSP28-5.0-11	28	5.0 x 28.0	11	3 x 5	1.00 x 36 x 4	11	9.8	6.1	3.2	300
SSP28-5.0-7	28	5.0 x 28.0	7	3 x 5	1.00 x 36 x 4	11	18.4	13.2	9.2	408
SSP28-6.0-7	28	6.0 x 28.0	7	3 x 5	1.00 x 36 x 4	11.5	30	21.5	15	487
SSP30-4.0-7	30	4.0 x 30.0	7	3 x 5	0.75 x 30 x 3	8	6.9	4	1	312
SSP30-5.0-11	30	5.0 x 30.0	11	3 x 5	1.00 x 36 x 4	11	6.5	3.5	1.2	315
SSP30-5.0-7	30	5.0 x 30.0	7	3 x 5	1.00 x 36 x 4	11	13.4	9.1	5.9	432
SSP30-6.0-7	30	6.0 x 30.0	7	3 x 5	1.00 x 36 x 4	11.5	27.5	19.9	14.1	512
SSP30-6.0-3	30	6.0 x 30.0	3	3 x 5	1.00 x 36 x 4	12	34.3	25.3	18.5	645
SSP35-5.0-7	35	5.0 x 35.0	7	3 x 5	1.00 x 36 x 4	11	7.2	3.7	1	491
SSP35-6.0-7	35	6.0 x 35.0	7	3 x 5	1.00 x 36 x 4	11.5	15	9.5	5.3	584
SSP35-6.0-3	35	6.0 x 35.0	3	3 x 5	1.00 x 36 x 4	12	19.7	13.2	8.2	739
SSP39-6.0-7	39	6.0 x 39.0	7	3 x 5	1.00 x 36 x 4	11.5	9.2	4.3	0.6	642
SSP39-6.0-3	39	6.0 x 39.0	3	3 x 5	1.00 x 36 x 4	12	13	7.4	3.1	814

FINISHES**Standard**

BRZ	Bronze
BLK	Black
GRY	Gray
GRN	Green
WHT	White
P	Primed
NA	Natural Aluminum

Galvanized

G	Galvanized
----------	------------

K-KLAD

K813	Bronze
K821	Black
K841	Gray
K891	Green
K881	White
K845	Natural Aluminum

K-KLAD Over Galvanizing

KZ13	Bronze
KZ21	Black
KZ41	Gray
KZ91	Green
KZ81	White
KZ45	Natural Aluminum

1 YEAR WARRANTY

5 YEAR WARRANTY

10 YEAR WARRANTY

MOUNTING DESIGNATIONS

Tenon Mount

2	2 3/8" x 4" TENON
3	2 7/8" x 4" TENON
3.5	3 1/2" x 6" TENON
4	4" x 6" TENON

Drill Mount

DM10	Drilled for 1 Luminaire
DM2090	Drilled for 2 Luminaires @ 90°
DM2180	Drilled for 2 Luminaires @ 180°
DM3090	Drilled for 3 Luminaires @ 90°
DM4090	Drilled for 4 Luminaires @ 90°

Open Mount

OT	Open Top
OTC	Open Top includes Pole Cap

Gain Mount

1GSS4	(1) CXA
2GSS4	(2) CXA's located on the Same Side
3GSS4	(3) CXA's located on the Same Side
4GSS4	(4) CXA's located on the Same Side
2GBB4	(2) CXA's located Back to Back
4GBB4	(4) CXA's located Back to Back
1GSS9	(1) CXASQ
2GSS9	(2) CXASQ's located on the Same Side
3GSS9	(3) CXASQ's located on the Same Side
4GSS9	(4) CXASQ's located on the Same Side
2GBB9	(2) CXASQ's located Back to Back
4GBB9	(4) CXASQ's located Back to Back

OPTIONS

There are numerous options that can be ordered. Please indicate these selections under the options column in the catalog number. Example: CPL-WPR2-BC.

Accessories

BC	Base Cover
CPL	Threaded Coupling*
NPL	Threaded Nipple*
WPRP	Festoon Opening**
LAB	Less Anchor Bolt

Optional Handholes

58HH	5" x 8" Handhole*
410HH	4" x 10" Handhole*

Extra Handholes

XHH	Extra Handhole*
------------	-----------------

Embedment Pole Options

E	Embedded Pole
GS	Ground Sleeve
CTE	Coal Tar Epoxy

For Embedment Poles:

Recommended Mounting Height	Recommended Embedment Depth
Less than 20'	4'
20' - 33'	6'
Greater than 33'	7'

Additional Simplex

1S	1 @ 0° *
2S	2 @ 180° *
3S	3 @ 90° *
4S	4 @ 90° *

Greater embedment depths are available upon request.
Embedment poles greater than 35' are not available.

* Please advise size, location, and orientation. (Handholes are restricted by size of pole shaft diameter)

** Located 24" above baseplate and same side as handhole. (No electrical included)

PACKAGING

Immediately after coating, the lighting standard including the baseplate shall be wrapped in heavy corrugation specially designed and sized to achieve maximum protection in transit.

KW Industries, Inc. coating process system and stringent quality control procedures provide our customer the finest quality lighting standards in the industry.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: August 15, 2023
APPLICANT: David Lindsey; *Tri-Tex Construction, Inc.*
CASE NUMBER: SP2023-024; *Site Plan for 955 Sids Road*

SUMMARY

Discuss and consider a request by David Lindsay of Tri-Tex Construction Inc. for the approval of a Site Plan for an office building on a 1.50-acre tract of land identified as Tract 8-3 of the J. D. McFarland Survey, Abstract No. 145, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 955 Sids Road, and take any action necessary.

BACKGROUND

According to the Rockwall Central Appraisal District (RCAD), existing on the subject property is a 576 SF office building and a 960 SF storage building, both of which were constructed in 1985. The subject property was annexed into the City of Rockwall on May 19, 1986 by Ordinance No. 86-37 [Case No. A1986-005]. According to the December 7, 1993 zoning map the subject property was zoned Agricultural (AG) District. On April 1, 2013, the City Council approved a zoning change [Case No. Z2013-007] changing the designation from an Agricultural (AG) District to Heavy Commercial (HC) District.

PURPOSE

On July 14, 2023, the applicant -- David Lindsey of Tri-Tex Construction, Inc. -- submitted an application requesting the approval of a Site Plan for the purpose of constructing an office building on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 955 Sids Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 1.50-acre tract of land (i.e. 960 Sids Road) developed with an office building that is zoned Commercial (C) District. Beyond this are three (3) tracts of land (i.e. 965, 967, & 981 Sids Road) that serve as bus storage for the Rockwall Independent School District (RISD), and are zoned Heavy Commercial (HC) District.

South: Directly south of the subject property is a vacant five (5) acre tract of land (i.e. Tract 8-1 of the J. D. McFarland Survey, Abstract No. 145) zoned Agricultural (AG) District. Beyond this is Sids Road, which is identified as a Minor Collector on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is an 18.87-acre parcel of land (i.e. Lot 9, Block A, Rayburn Country Addition) developed with office buildings that is zoned Heavy Commercial (HC) District.

East: Directly east of the subject property is Sids Road, which is identified as a Minor Collector on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is an 18.87-acre parcel of land (i.e. Lot 9, Block A, Rayburn Country Addition) developed with office buildings, which is followed by a vacant 11.4699-acre parcel of land (i.e. Lot 6, Block A, Rayburn Country Addition). All of these properties are zoned Heavy Commercial (HC) District.

West: Directly west of the subject property is a vacant 20.562-acre parcel of land that serves as open space for the Flagstone Estates Subdivision. Beyond this the Flagstone Estates Subdivision, which consists of 81 single-family residential homes and is zoned Planned Development District 54 (PD-54) for Single-Family 10 (SF-10) District land uses. Following this is Mims Road, which is identified as a M4U (i.e. major collector, four [4] land, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office Building* is a permitted *by-right* land use in a Heavy Commercial (HC) District. The submitted site plan, landscape plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Heavy Commercial (HC) District with the exception of the items noted in the *VariANCES and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	X=1.50-acres; In Conformance
<i>Minimum Lot Frontage</i>	100-Feet	X= 134.66-feet; In Conformance
<i>Minimum Lot Depth</i>	125-Feet	X=460.75-feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	X>25-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	20-Feet	X>20-feet; In Conformance
<i>Minimum Side Yard Setback</i>	15-Feet	X>15-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=21.5-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=09.48%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/300SF (21 Required)	X=24; In Conformance
<i>Minimum Landscaping Percentage</i>	15%	X>15.00%; In Conformance
<i>Maximum Impervious Coverage</i>	90-95%	X<90%; In Conformance

TREESCAPE PLAN

The applicant is not proposing to remove any trees from the subject property; therefore, a *Treescape Plan* is not required.

CONFORMANCE WITH THE CITY’S CODES

According to Subsection 02.02(D)(2), *Office Building*, of Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office* is defined as “...facility that provides executive, management, administrative, or professional services ... but not involving the sale of merchandise except as incidental to a permitted use.” In this case, the applicant’s request for an *Office Building* is permitted by right according to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

According to Subsection 05.01, *Landscape Buffers*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) minimum of a ten (10) foot wide landscape buffer shall be required along the entire length of any non-residential lot that abuts a public right-of-way ...” and all buffers shall incorporate a berm, and one (1) canopy tree and one (1) accent tree per 50-linear feet of frontage. In this case, the applicant is incorporating the required the landscaping and berm to satisfy the landscape buffer requirements for a non-residential property abutting a public right-of-way. In addition, the proposed site plan also generally conforms to the requirements of the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the exception being requested as outlined in the *VariANCES and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant’s request conforms to the majority of the City’s codes; however, staff has identified the following exceptions:

- (1) *Building Articulation.*

- (a) Primary and Secondary Building Facades. According to Subsection 04.01 (C), *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), for primary and secondary building facades a "... wall length shall not exceed three (3) times the wall height." In this case, the new building the applicant is proposing does not meet the wall length requirement. This will require an exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship. In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. At this time the applicant is not proposing any compensatory measures; however, they are wrapping the stone wainscot around three (3) sides of the building as the Architecture Review Board (ARB) requested. That being said, requests for exceptions and variances to the *General Standards* and *Engineering Standards of Design and Construction* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the Southwest Residential District. The Southwest Residential District "...contains a mixture of land uses that include existing medium and low density residential, heavy commercial/retail land uses (i.e. National Drive, Sids Road, and Mims Road) and commercial land uses." Strategy #2 in the Southwest Residential District indicates that the properties surrounding Sids Road and Mims Road contain some of the only land in the City for *Commercial/Industrial* land uses and that "...these areas should be protected from the encroachment of incompatible land uses." In this case, the applicant is proposing an *Office Building* without outside storage, which brings the property closer into conformance with the Heavy Commercial (HC) District standards and maintains the existing *Office* land use on subject property. Based on this the applicant's proposal appears to conform with the goals and policies of the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On July 25, 2023, the Architectural Review Board (ARB) reviewed the proposed building elevations. The ARB made the recommendation to the applicant to wrap the stone wainscot around the sides of the building, except for the rear of the building. Before the ARB takes action, they want to see the revised building elevations at the August 15, 2023 ARB meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of an *office building* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) At this time a photometric plan has not been provided as the applicant has indicated no new lighting is to be added. That being said, if lighting is proposed at later date then a photometric plan and lighting cutsheets that meet the requirements of the Unified Development Code (UDC) must be provided; and,
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹ $1.5 \times 20 = \$30$
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **955 SIDES ROAD**

SUBDIVISION **JD McFARLAND TRACT 8-3 ACRES 1.5** LOT _____ BLOCK _____

GENERAL LOCATION **SIDES & STATE HIGHWAY 205**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **COMMERCIAL**

CURRENT USE **OFFICE BUILDING**

PROPOSED ZONING **COMMERCIAL**

PROPOSED USE **OFFICE BUILDING**

ACREAGE **1.5**

LOTS [CURRENT] **1**

LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER **TRI-TEX CONSTRUCTION INC.**

APPLICANT _____

CONTACT PERSON **DAVID LINDSAY**

CONTACT PERSON _____

ADDRESS **797 N GROVE RD**

ADDRESS _____

CITY, STATE & ZIP **RICHARDSON TX 75081**

CITY, STATE & ZIP _____

PHONE **214-460-0051**

PHONE _____

E-MAIL **DAVID@TRI-TEX.COM**

E-MAIL _____

NOTARY VERIFICATION [REQUIRED]

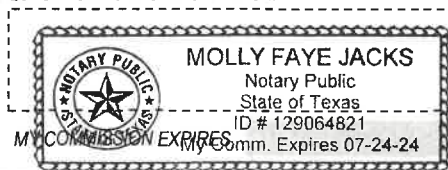
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED David Lindsay [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

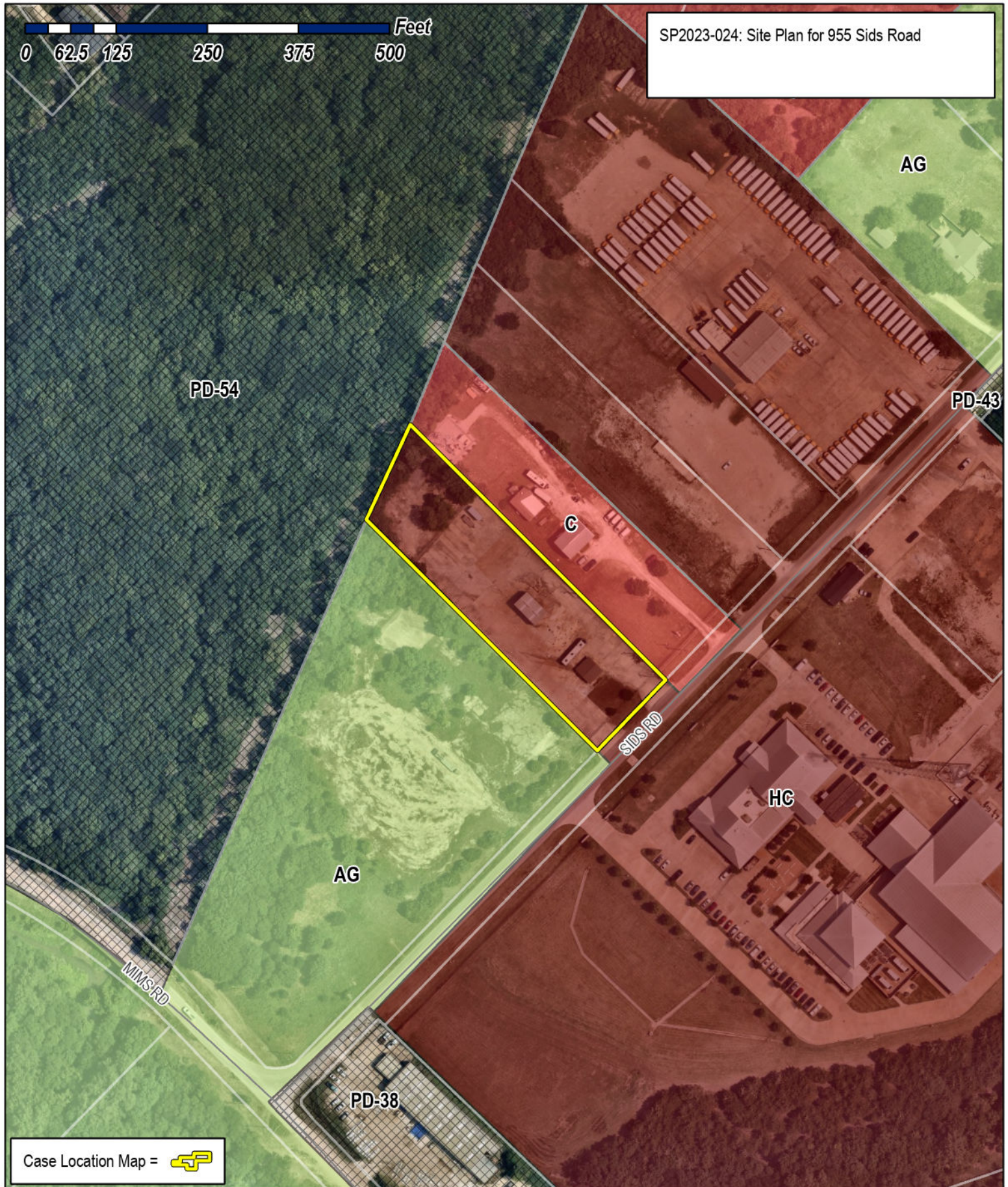
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 280.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 14 DAY OF JULY, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 14 DAY OF July, 2023

OWNER'S SIGNATURE David Lindsay


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Molly Faye Jacks





SP2023-024: Site Plan for 955 Sids Road

0 62.5 125 250 375 500 Feet

Case Location Map = 



City of Rockwall

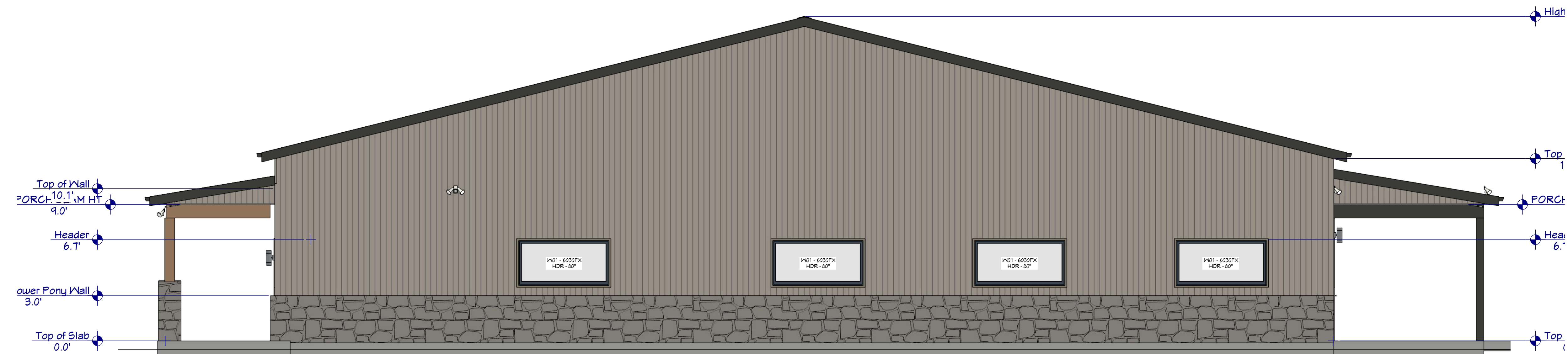
Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





Exterior Elevation Front
 MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
 R PANEL: 429 SF
 STONE PONY WALL: 245 SF

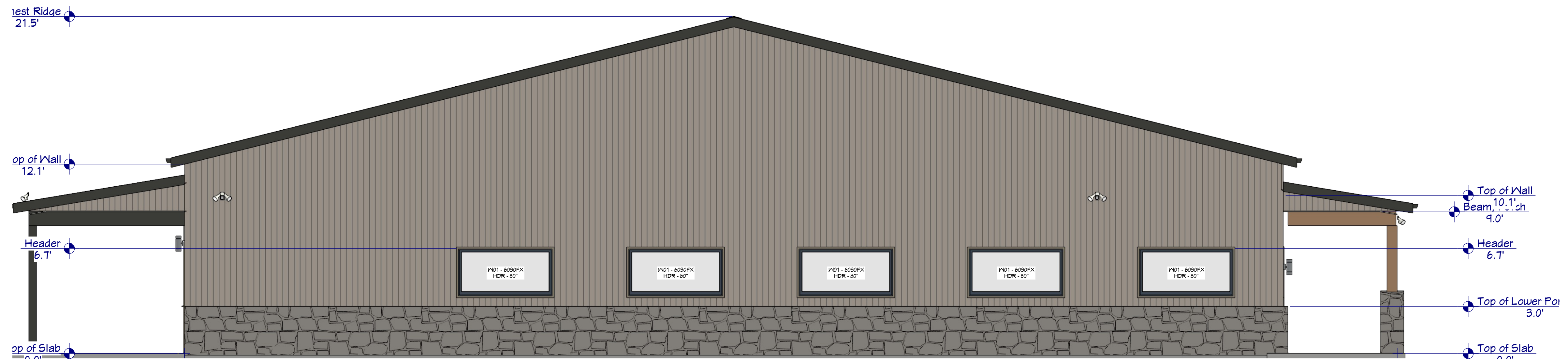


Exterior Elevation Right
 MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
 R PANEL: 884 SF
 STONE PONY WALL: 212 SF

EXTERIOR MATERIALS:	
SOFFIT:	METAL
SIDING:	R PANEL, BEIGE
STONE:	36" PONY WALL, OKLAHOMA STONE
ROOF:	STANDING SEAM, BLACK
PORCH POSTS:	8" CEDAR, ROUGH SAWN
POST BASES (IF APPLICABLE):	18"X18"X48", OKLAHOMA STONE
CORNER TRIM:	YES
GUTTERS: YES	
(SEE STYLE SHEET FOR ADDITIONAL INFO.)	



Exterior Elevation Back
 MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
 R PANEL: 1017 SF



Exterior Elevation Left
 MATERIALS (EXCLUDES DOORS/WINDOWS & ROOF):
 R PANEL: 866 SF
 STONE PONY WALL: 212 SF



FRONT-LEFT



FRONT-RIGHT



BACK-LEFT



BACK-RIGHT

GENERAL NOTES:

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:

HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

Layout Page Table

Number	Title
1	PROJECT OVERVIEW
2	ELEVATIONS
3	ELEVATIONS (CONT.)
4	SCHEDULES & STYLE
5	SITE PLAN
6	FOUNDATION/ROUGH-IN PLAN
7	ROOF PLAN - 1F
8	FRAMING PLAN - 1F
9	ELECTRICAL PLAN
10	CABINET PLAN

REV 02

PLANS PREPARED BY:
 AARON HAMILTON
 ABIDE HOME DESIGNS
 ROYSE CITY, TX / 972-593-0959
 AARON@ABIDEHOMEDESIGNS.COM

PROJECT OVERVIEW

TRI-TEX CONSTRUCTION INC.
 955 SIDS RD
 ROCKWALL, TX 75082



DATE:

8/8/2023

SCALE:

1/4"=1'

SHEET:

1

TOTAL CONDITIONED SF:	5600 SF
TOTAL SLAB SF:	6618 SF
TOTAL PORCHES UNDER ROOF:	970 SF
TOTAL UNDER ROOF SF:	6618 SF

Revision Table			
Label	Date	Revised By	Description
REV 01	4/3/2023	AJH	BID/REVIEW PLANS
REV 02	8/8/2023	AJH	EXTENDED MAINSCOT, GENERAL NOTE UPDATES, SITE PLAN/LANDSCAPE UPDATES

-INTERIOR & EXTERIOR 3D MODEL AVAILABLE (AS NEEDED) UPON REQUEST
 -2D ELECTRONIC CAD FILE AVAILABLE (DWG, DXF) UPON REQUEST
 -PLEASE REQUEST EITHER HOMEOWNER OR VIA DESIGNER CONTACT INFO

To the best of my knowledge these plans are drawn to comply with owner's and/or builder's specifications and any changes made on them after prints are made will be done at the owner's and/or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. Hamilton Handcrafted/Abide Home Designs is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, LOCAL CODE/BUILDER REQUIREMENTS & CONNECTIONS BEFORE CONSTRUCTION BEGINS.

MIN. CODE RECOMMENDATIONS:
 ELECTRICAL SYSTEM CODE: SEC.2701
 MECHANICAL SYSTEM CODE: SEC.2801
 PLUMBING SYSTEM CODE: SEC.2901
 (CONSULT LOCAL/CITY BUILDING REQUIREMENTS)

SITE PLAN



NOT FOR CONSTRUCTION

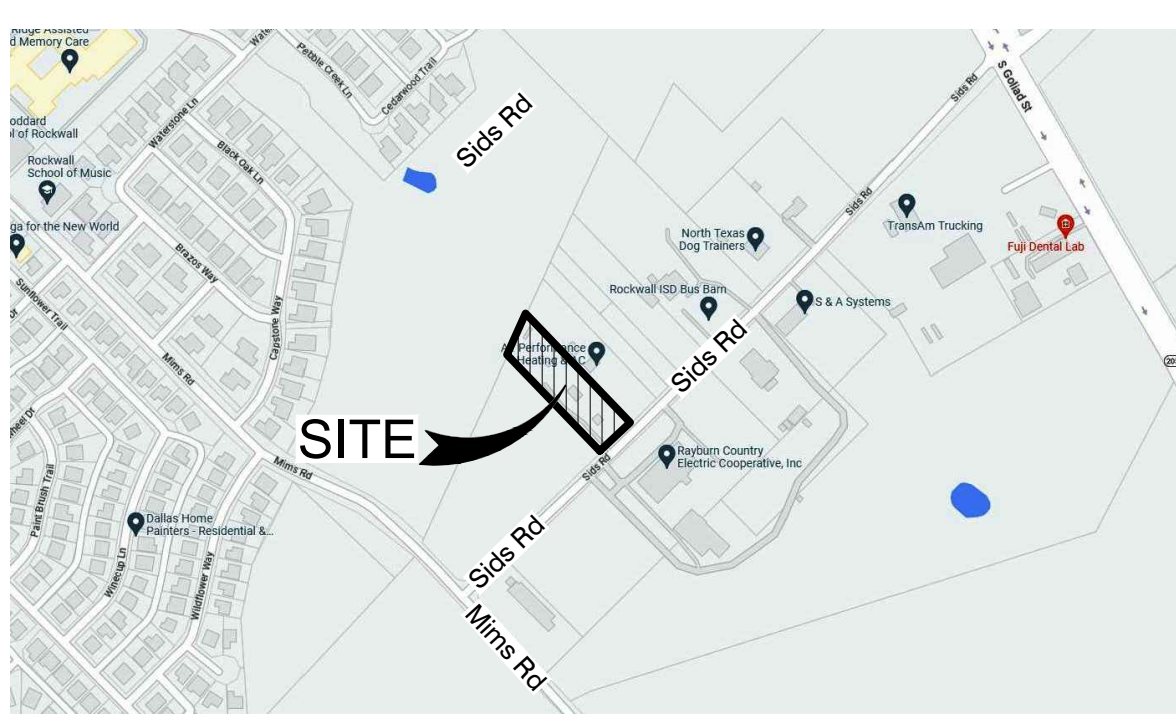
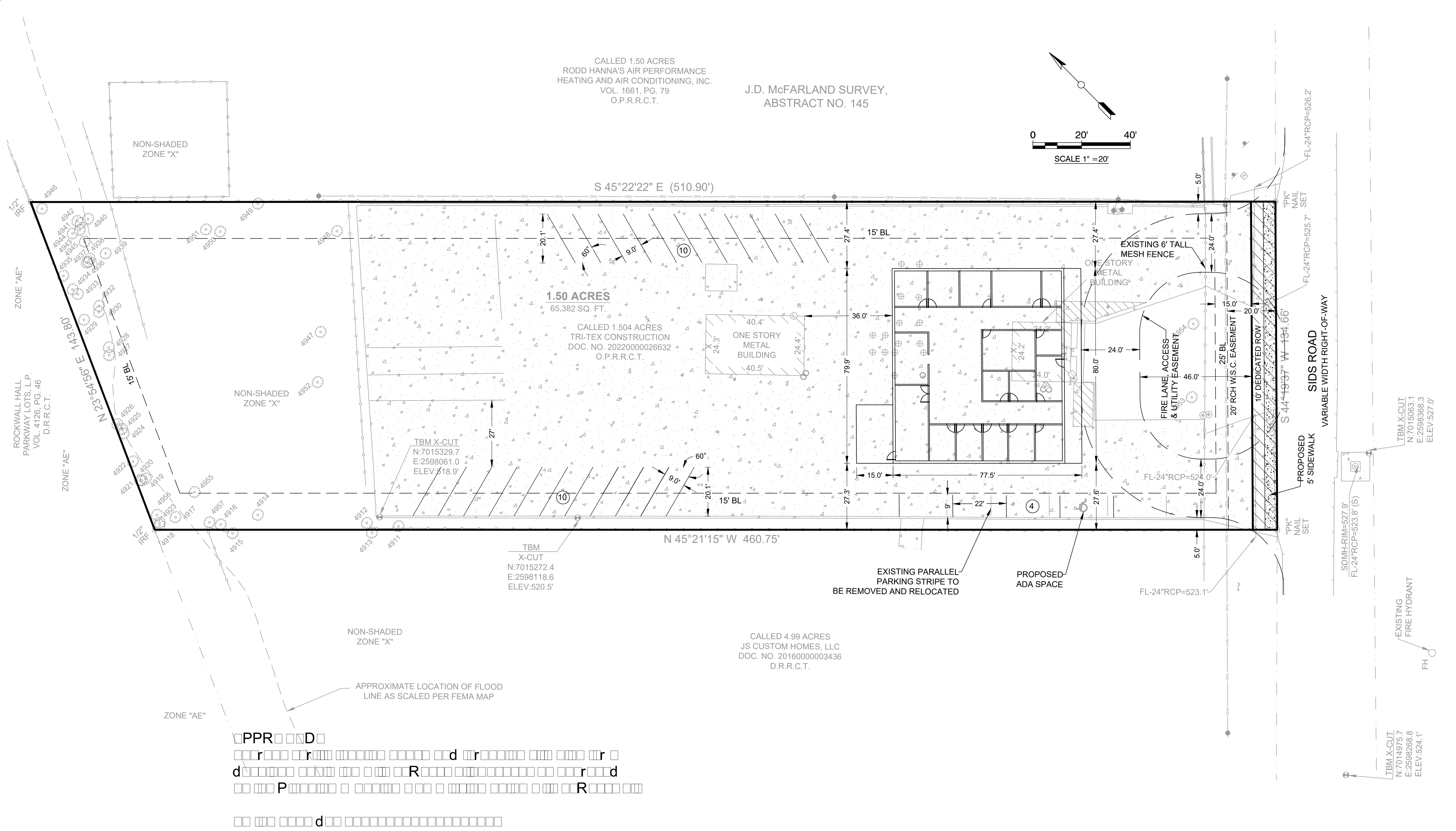
No.	Revision/Issue	Date

Firm Name and Address
TURNKEY TRACT
 2770 MAIN ST #171
 FRISCO, TX 75033
 F-22283
 nkcivilengineer4@gmail.com
 214-483-1599

Project Name and Address
OFFICE BUILDING
 955 SIDS ROAD
 ROCKWALL, TEXAS 75032
 SP2023-024

Project	Sheet
Date 08 / 04 / 2023	04
Scale	13

OWNER
 TRI-TEX CONSTRUCTION INC
 797 N GROVE RD
 RICHARDSON, TEXAS 75081



VICINITY MAP

LOT AREA 1.50 ACRES
BUILDING COVERAGE: 65,382 SF
 5,600 SF

NOTE:
 NO OUTSIDE STORAGE PROPOSED IN THIS PROJECT
 POLY CARTS WILL BE USED FOR GARBAGE.

NOTE:
 ALL EXISTING WATER AND SANITARY SEWER CONNECTIONS TO THE
 EXISTING BUILDING WILL BE USED FOR THE PROPOSED BUILDING.

SITE DATA:
 SITE AREA = 65,382 SF / 1.50 ACRE
 PARKING REQUIRED = OFFICE: 1 PER 300 SF = 19 SPACES
 PARKING PROVIDED = 24 SPACES
 ADA SPACES PROVIDED = 1 SPACE

LAYOUT: CONCEPT LAYOUT

PATH: C:\Users\TT\Engineer\Drawings\2023_08\955 SIDS OF Rockwall\DRAWINGS\BASE DRAWINGS

ELECTRONIC CAD FILES (.DWG, .DXF) AVAILABLE ON REQUEST

REV 02

PLANS PREPARED BY:
 AARON HAMILTON
 ABIDE HOME DESIGNS
 ROYSE CITY, TX / 972-593-0959
 AARON@ABIDEHOMEDESIGNS.COM

FOUNDATION/
 ROUGH-IN PLAN

TRI-TEX CONSTRUCTION
 INC.
 9155 SIDS RD
 ROCKWALL, TX 75082



DATE:

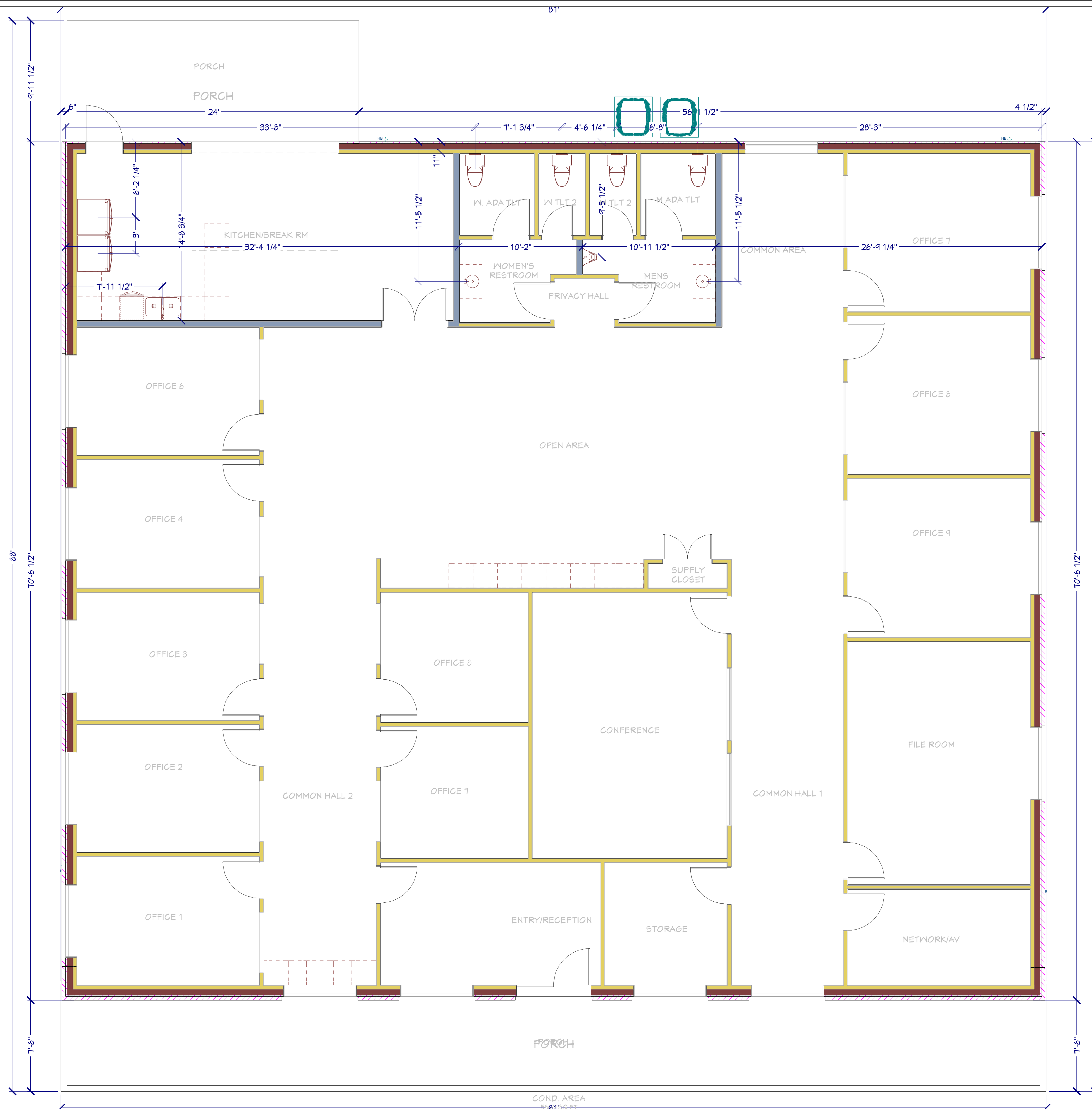
8/8/2023

SCALE:

1/4"=1'

SHEET:

6



FOUNDATION NOTES:

FOUNDATION TO BE ENGINEERED BY LICENSED STRUCTURAL ENGINEER TO DETERMINE BEAM/FOOTING SIZES, PIER LAYOUT, REINFORCEMENT AND POST TENSION REQUIREMENTS.

ALL WALK IN SHOWER PANS TO BE RECESSED 3.5" FROM MAIN SLAB HEIGHT.

BRICK LEDGE TO 5.5" IN WIDTH AND A MINIMUM OF 1.5" IN DEPTH WHERE SHOWN.

SLOPE ALL PORCHES AND GARAGES AWAY FROM HOUSE TO ENSURE PROPER WATER RUNOFF.

MINIMUM 1.5" STEP DOWN FROM MAIN SLAB TO GARAGE SLAB.

FOUNDATION PLAN DEFINES FOOTPRINT AND SLAB PENETRATION DEFINITION ONLY.

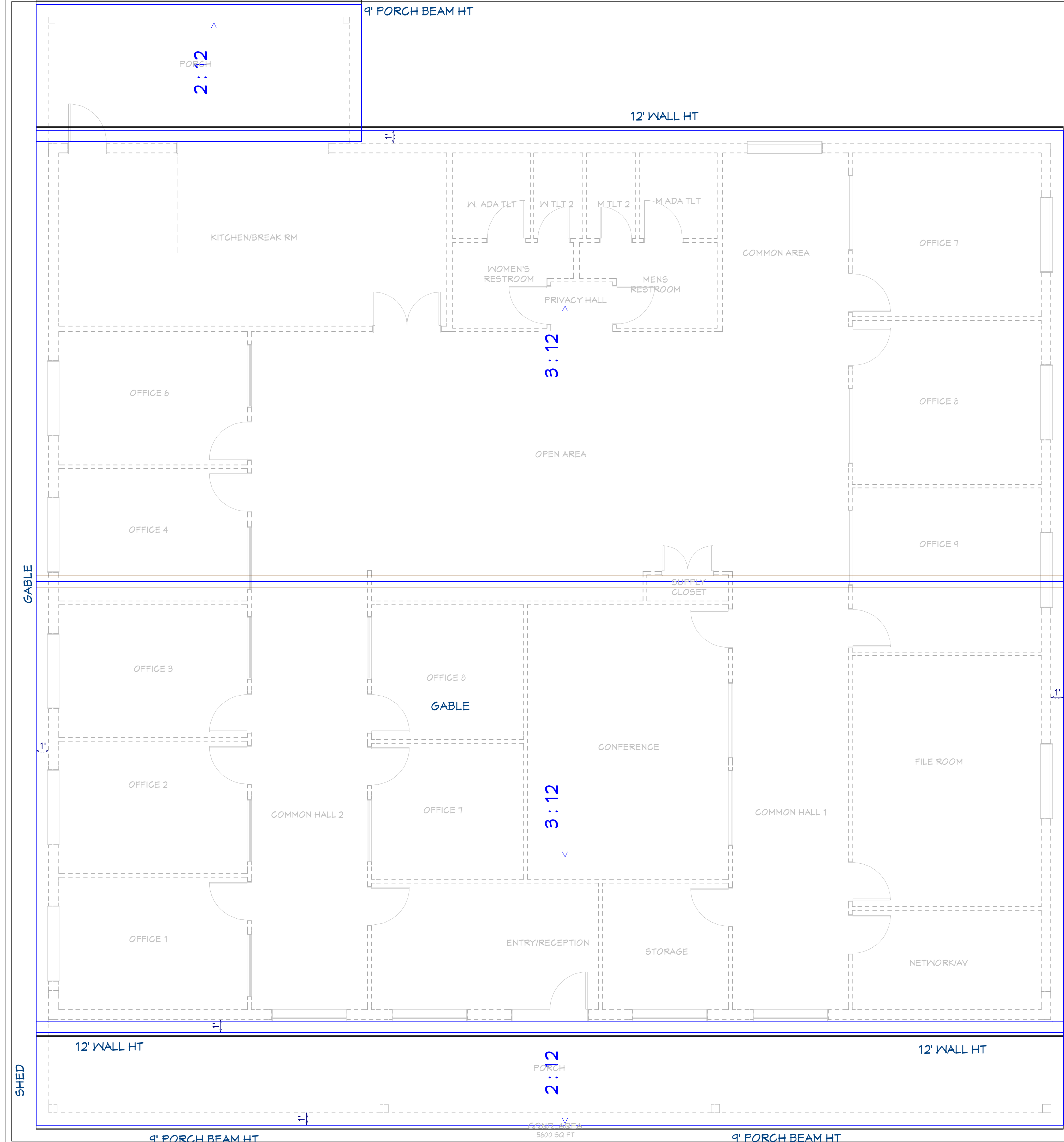
INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

- * JOINTS AROUND WINDOW AND DOOR FRAMES
- * JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
- * JOINTS BETWEEN WALL AND FOUNDATION
- * JOINTS BETWEEN WALL AND ROOF
- * JOINTS BETWEEN WALL PANELS
- * UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

GENERAL PLUMBING NOTES:

1. VERIFY FIXTURE SELECTIONS AND DRAIN LOCATIONS WITH HOMEOWNER PRIOR TO ROUGH-IN.
2. ALL SLAB WATER PENETRATIONS TO BE SLEEVED WITH PVC OR WRAPPED WITH FOAM INSULATION TO PROTECT WATER LINE FROM CHAFFING.
3. UTILIZE TUB BOXES FOR TUB AND SHOWER SLAB DRAIN PENETRATIONS.
4. ALL WATER LINES RUN UNDER SLAB TO BE INSULATED.
5. REFER TO SLAB ENGINEERING PLAN TO DETERMINE IDEAL EXTERIOR CLEANOUT AND SEWER DRAIN CONNECTION LOCATION.
6. ISLAND DRAIN, WATER AND/OR GAS TO BE LOCATED MINIMUM 2" INSIDE THE BACK OF CABINET WHERE APPLIANCE OR SINK IS LOCATED UNLESS OTHERWISE SPECIFIED.
7. ALL GAS LINES SHALL BE SIZED FOR APPLIANCE LOAD. "BLACK" PIPE SHALL BE USED INSIDE THE BUILDING, "GREEN" PIPE WHERE UNDERGROUND OR EXPOSED TO WEATHER. ALL JOINTS SHALL BE TAPED WHERE BURIED OR EXPOSED TO WEATHER.
8. PLUMBER TO ALLocate AN IN-HOME PRIMARY WATER SHUTOFF VALVE IN EASILY ACCESSIBLE WALL. VERIFY VALVE LOCATION WITH BUILDER/HOMEOWNER PRIOR TO ROUGH-IN.
9. MINIMUM 3X. FREEZE PROOF HOSE BIBS IF NOT SPECIFIED ON DRAWING. VERIFY HOSE BIB LOCATIONS WITH BUILDER/HOMEOWNER PRIOR TO ROUGH-IN.
10. PERMISSIBLE TO RUN IN-CEILING WATER DISTRIBUTION, PROVIDED LOCAL CODE REQUIREMENTS AND BUILDER PERMIT.

FOUNDATION ROUGH-IN



TOTAL ROOF SF:	7063 SF
METAL, STANDING SEAM, RIBBED, BLACK	
PRIMARY PITCH:	3:12
SECONDARY PITCH(ES):	2:12
EAVE STYLE:	RAKE/SCULPTED
GABLE OVERHANG:	12"
EAVE OVERHANG:	12"
EAVE RAFTER/FASCI/RAKE:	PLUMB CUT

ROOF PLAN

REV 02

PLANS PREPARED BY:
 AARON HAMILTON
 ABIDE HOME DESIGNS
 ROYSE CITY, TX / 972-533-0459
 AARON@ABIDEHOMEDESIGNS.COM

ROOF PLAN - 1F

TRI-TEX CONSTRUCTION
 INC.
 955 SIDS RD
 ROCKWALL, TX 75082



DATE:

8/8/2023

SCALE:

1/4"=1'

SHEET:

7



DATE:

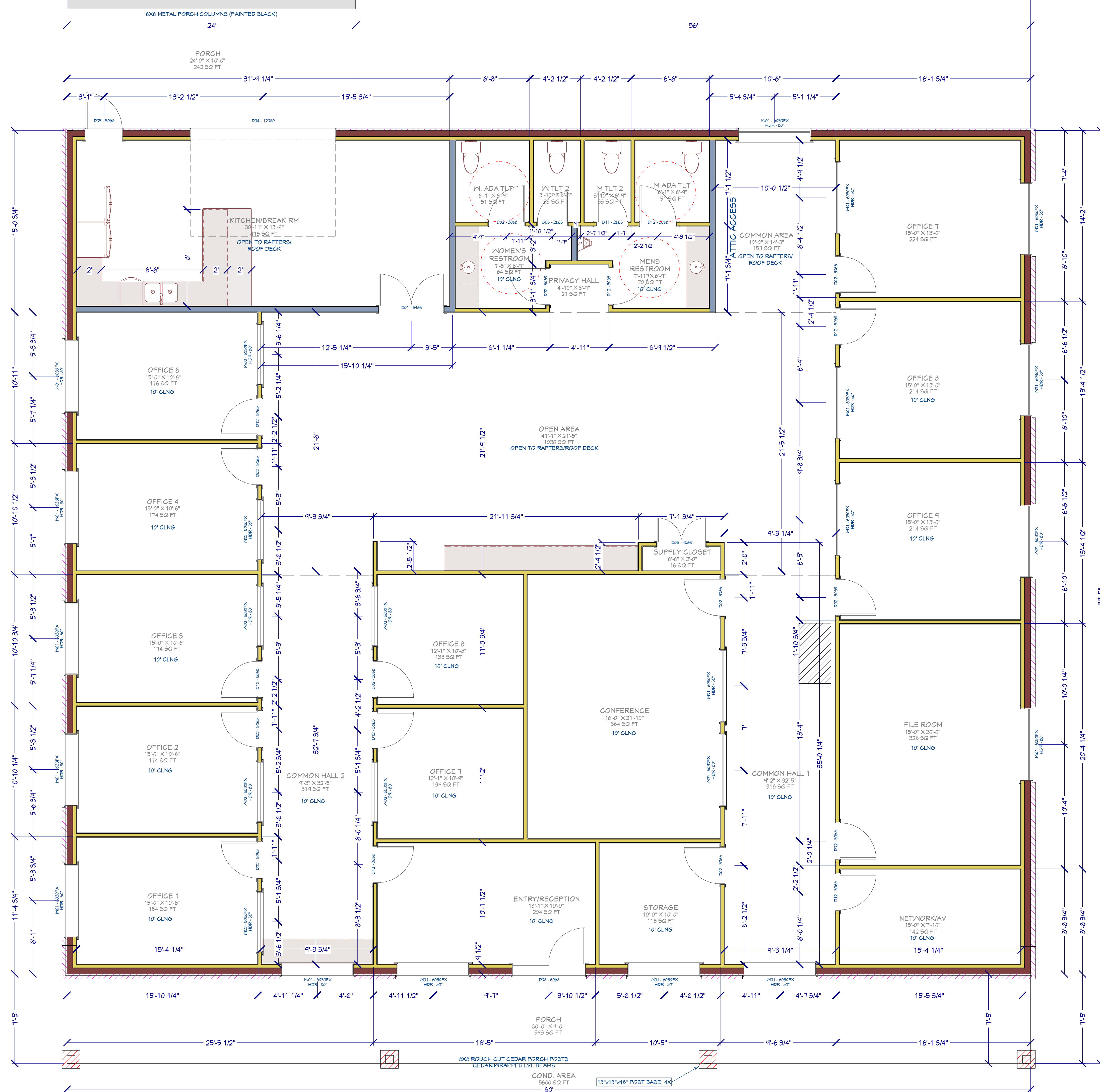
8/8/2023

SCALE:

1/4"=1'

SHEET:

8



ROOM AREA/CEILING SCHEDULE (UNLESS OTHERWISE SPECIFIED)			
FLOOR	ROOM NAME	AREA, INTERIOR (SQ FT)	CEILING HEIGHT
1	OPEN AREA	1007	N/A
1	FILE ROOM	299	121 1/8"
1	ENTRY/RECEPTION	181	121 1/8"
1	KITCHEN/BREAK RM	424	N/A
1	M TLT 2	26	121 1/8"
1	OFFICE 4	157	121 1/8"
1	M ADA TLT	41	121 1/8"
1	W ADA TLT	41	121 1/8"
1	OFFICE 7	195	121 1/8"
1	OFFICE 6	158	121 1/8"
1	NETWORK/AV	118	121 1/8"
1	OFFICE 8	129	121 1/8"
1	PRIVACY HALL	18	121 1/8"
1	MENS RESTROOM	62	121 1/8"
1	PORCH	560	104 1/8"
1	OFFICE 7	131	121 1/8"
1	COMMON AREA	142	N/A
1	COMMON HALL 2	299	121 1/8"
1	CONFERENCE	349	121 1/8"
1	WOMEN'S RESTROOM	57	121 1/8"
1	COMMON HALL 1	298	121 1/8"
1	STORAGE	101	121 1/8"
1	W TLT 2	26	121 1/8"
1	OFFICE 1	157	121 1/8"
1	OFFICE 2	157	121 1/8"
1	OFFICE 3	158	121 1/8"
1	SUPPLY CLOSET	13	121 1/8"
1	OFFICE 9	195	121 1/8"
1	OFFICE 8	195	121 1/8"
1	PORCH	234	104 1/8"
TOTALS:		5933	

FRAMING PLAN



ELECTRICAL - DATA - AUDIO LEGEND

SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

ELECTRICAL SCHEDULE

NUMBER	FLOOR	QTY	DESCRIPTION	ATTACHED TO
E01	1	104	RECESSED DOWN LIGHT 6	CEILING
E02	1	14	RECESSED DOWN LIGHT 4	CEILING
E03	1	8	SCOPE SCONCE	WALL
E04	1	6	CLASSIC CEILING FAN	CEILING
E05	1	7	SPOTLIGHT 2 MOTION SENSOR	WALL
E06	1	6	EXHAUST	CEILING
E07	1	38	SINGLE POLE	WALL

- ADDITIONAL ELECTRICAL ITEMS/NOTES:**
- SOFFIT PLUGS (FOR CHRISTMAS LIGHTS, ETC.) TO BE INSTALLED ON 4 CORNERS OF HOUSE & BETWEEN CORNERS IF SPACING EXCEEDS 50'.
 - UNDER CABINET AND UPPER GLASS BOX CABINET (IF APPLICABLE) TO BE INSTALLED ON ALL KITCHEN CABINETS.
 - MINIMUM 1X (UNLESS OTHERWISE SHOWN), WATERPROOF OUTLET ON ALL PORCHES, NEAR GARAGE DOOR.
 - IF POOL OR HOT TUB IS TO BE INSTALLED, ELECTRICIAN TO PROVISION THE FOLLOWING:
 - 30A 220V FOR POOL
 - 20A 110V FOR POOL ACCESSORIES
 - 50A 220V FOR ELECTRIC HOT TUB
 - ELECTRICIAN TO VERIFY WITH HOMEOWNER IF 50A/220V BACKUP GENERATOR PLUG IS REQUIRED.
 - ELECTRICIAN TO VERIFY HVAC POWER REQUIREMENTS WITH BUILDER PRIOR TO ELECTRICAL ROUGH-IN.
 - DATA/AUDIO/VIDEO/SECURITY WIRING INFO. MAY NOT BE SHOWN ON ELECTRICAL PLAN, BUILDER TO VERIFY REQUIREMENTS WITH HOMEOWNER.
 - SECURITY LIGHTS (MINIMUM 3X) TO BE INSTALLED AT LOCATIONS TO BE DEFINED BY HOMEOWNER.
 - FLOOR OUTLETS AND ISLAND WIRING CONDUIT (IF APPLICABLE) MUST BE PROVISIONED PRIOR TO SLAB CONSTRUCTION.

- ELECTRICAL, DATA, & AUDIO NOTES:**
 HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.
- ELECTRICAL NOTES:**
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. ORG.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.
 - PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.
 - CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
 - FINAL SWITCHES FOR TIMERS AND DIMMERS SHALL BE VERIFIED WITH HOME OWNER.
 - FIXTURES TO BE SELECTED BY HOME OWNER.
- AUDIO:**
- LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR;
 - AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER;
 - LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.
- DATA / CABLE:**
- LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.

CABINET PLAN

TRI-TEX CONSTRUCTION
 INC.
 955 SIDS RD
 ROCKWALL, TX 75032



DATE:

8/8/2023

SCALE:

1/4"=1'

SHEET:

10



- SEE CABINET ELEVATIONS (NEXT SHEET) FOR CONCEPTUAL DOOR/
 DRAWER STYLE AND/OR CONFIGURATION
 - DOES NOT INCLUDE CLOSET SHELVES/ROD AND FLOATING OR
 DECORATIVE SHELVES

CABINET SCHEDULE								
NUMBER	LABEL	QTY	FLOOR	DESCRIPTION	ROOM NAME	WIDTH	DEPTH	HEIGHT
C05	B24R	2	1	BASE CABINET	KITCHEN/BREAK RM	24"	24"	36"
C06	BCB18R	1	1	BASE CABINET	KITCHEN/BREAK RM	18"	24"	36"
C07	SB36	1	1	BASE CABINET	KITCHEN/BREAK RM	36"	24"	36"
C08	BCB24R	3	1	BASE CABINET	KITCHEN/BREAK RM	24"	24"	36"
C09	B18R	2	1	BASE CABINET	COMMON HALL 2	18"	24"	36"
C10	B24R	2	1	BASE CABINET	COMMON HALL 2	24"	24"	36"
C11	B27	1	1	BASE CABINET	COMMON HALL 2	26 9/16"	24"	36"
C13	B24R	8	1	BASE CABINET	OPEN AREA	24"	24"	36"
C14	B2422L	2	1	BASE CABINET	MENS RESTROOM	24"	22"	36"
C15	SB3322	1	1	BASE CABINET	WOMEN'S RESTROOM	33 7/16"	22"	36"
C16	B2422R	2	1	BASE CABINET	WOMEN'S RESTROOM	24"	22"	36"
C17	SB3322	1	1	BASE CABINET	MENS RESTROOM	33 7/16"	22"	36"

CABINET PLAN

COND. AREA
 5600 SQ FT

ELECTRONIC CAD FILES (.DWG, .DXF) AVAILABLE ON REQUEST

REV 01

PLANS PREPARED BY:
 AARON HAMILTON
 ABIDE HOME DESIGNS
 ROYSE CITY, TX / 972-593-0959
 AARON@ABIDEHOMEDESIGNS.COM

FOUNDATION/
 ROUGH-IN PLAN

TRI-TEX CONSTRUCTION
 INC.
 955 SIDS RD
 ROCKWALL, TX 75082



DATE:

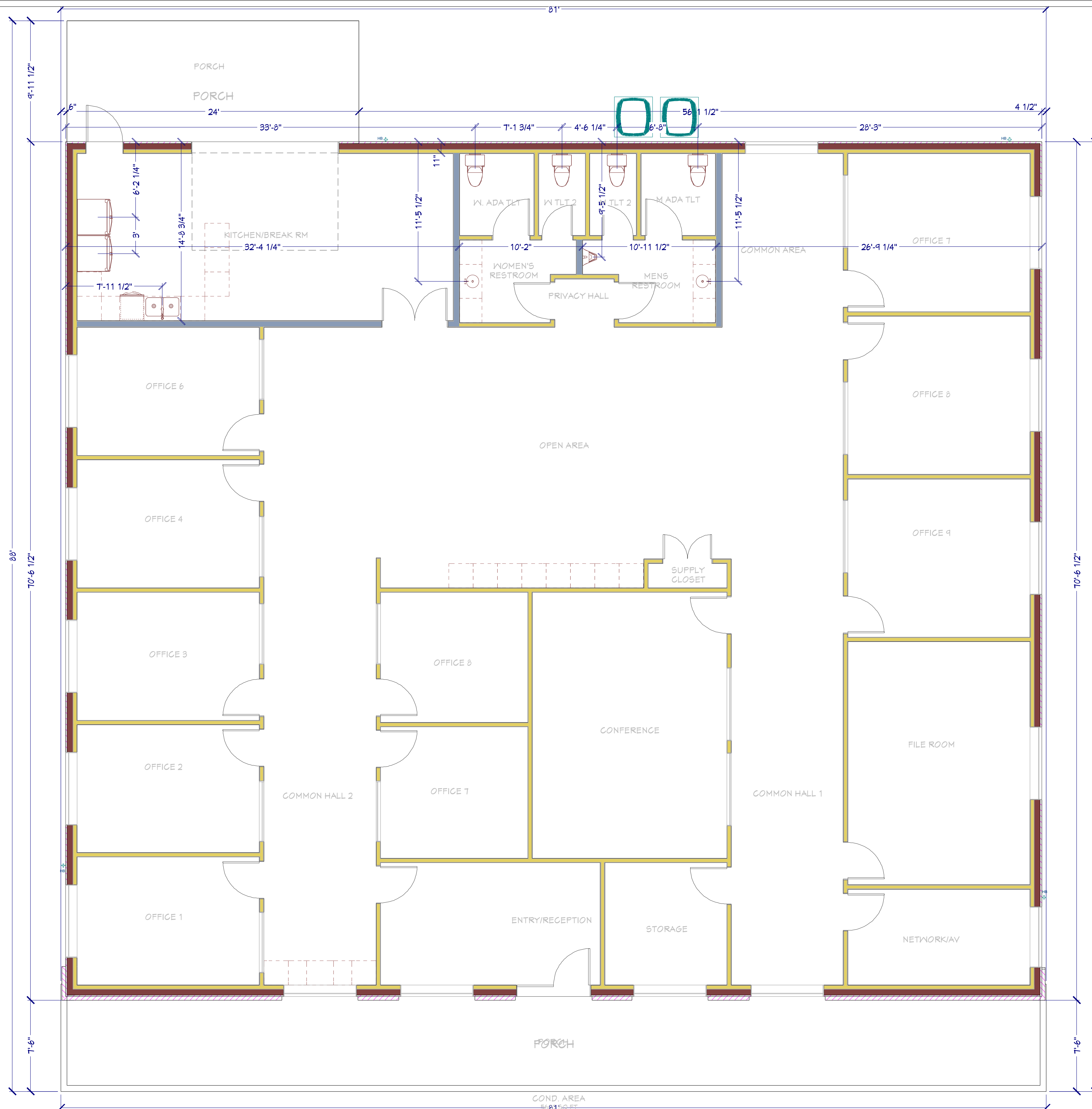
7/14/2023

SCALE:

1/4"=1'

SHEET:

6



FOUNDATION NOTES:

FOUNDATION TO BE ENGINEERED BY LICENSED STRUCTURAL ENGINEER TO DETERMINE BEAM/FOOTING SIZES, PIER LAYOUT, REINFORCEMENT AND POST TENSION REQUIREMENTS.

ALL WALK IN SHOWER PANS TO BE RECESSED 3.5" FROM MAIN SLAB HEIGHT.

BRICK LEDGE TO 5.5" IN WIDTH AND A MINIMUM OF 1.5" IN DEPTH WHERE SHOWN.

SLOPE ALL PORCHES AND GARAGES AWAY FROM HOUSE TO ENSURE PROPER WATER RUNOFF.

MINIMUM 1.5" STEP DOWN FROM MAIN SLAB TO GARAGE SLAB.

FOUNDATION PLAN DEFINES FOOTPRINT AND SLAB PENETRATION DEFINITION ONLY.

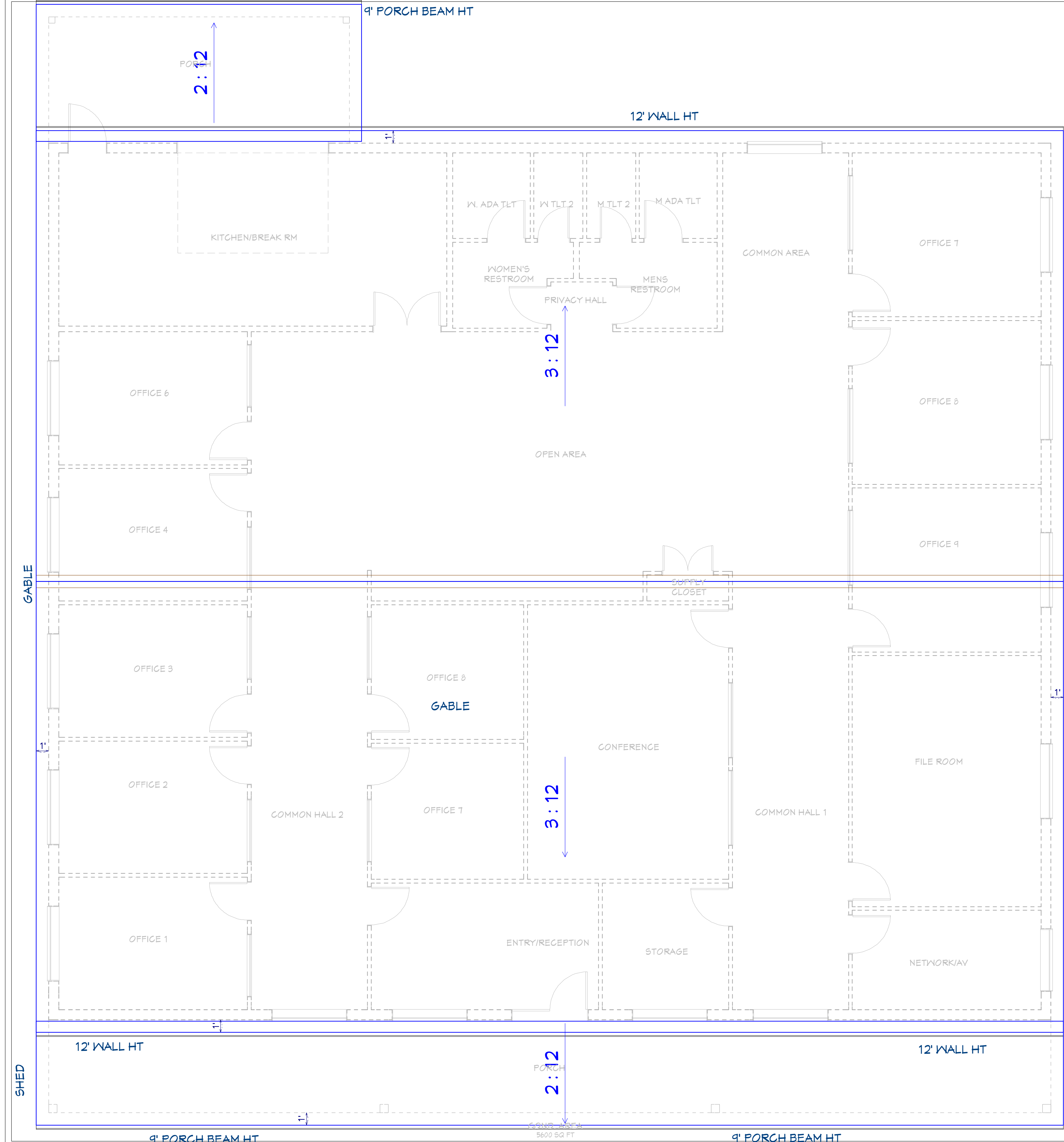
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- * JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
- * JOINTS BETWEEN WALL AND FOUNDATION
- * JOINTS BETWEEN WALL AND ROOF
- * JOINTS BETWEEN WALL PANELS
- * UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

GENERAL PLUMBING NOTES:

1. VERIFY FIXTURE SELECTIONS AND DRAIN LOCATIONS WITH HOMEOWNER PRIOR TO ROUGH-IN.
2. ALL SLAB WATER PENETRATIONS TO BE SLEEVED WITH PVC OR WRAPPED WITH FOAM INSULATION TO PROTECT WATER LINE FROM CHAFFING.
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4. ALL WATER LINES RUN UNDER SLAB TO BE INSULATED.
5. REFER TO SLAB ENGINEERING PLAN TO DETERMINE IDEAL EXTERIOR CLEANOUT AND SEWER DRAIN CONNECTION LOCATION.
6. ISLAND DRAIN, WATER AND/OR GAS TO BE LOCATED MINIMUM 2" INSIDE THE BACK OF CABINET WHERE APPLIANCE OR SINK IS LOCATED UNLESS OTHERWISE SPECIFIED.
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10. PERMISSIBLE TO RUN IN-CEILING WATER DISTRIBUTION, PROVIDED LOCAL CODE REQUIREMENTS AND BUILDER PERMIT.

FOUNDATION ROUGH-IN



TOTAL ROOF SF:	7063 SF
METAL, R PANEL, RIBBED, BLACK	
PRIMARY PITCH:	3:12
SECONDARY PITCH(ES):	2:12
EAVE STYLE:	RAKE/SCULPTED
GABLE OVERHANG:	12"
EAVE OVERHANG:	12"
EAVE RAFTER/FASCI/RAKE:	PLUMB CUT

ROOF PLAN

REV 01

PLANS PREPARED BY:
 AARON HAMILTON
 ABIDE HOME DESIGNS
 ROYSE CITY, TX / 972-533-0459
 AARON@ABIDEHOMEDESIGNS.COM

ROOF PLAN - 1F

TRI-TEX CONSTRUCTION
 INC.
 955 SIDS RD
 ROCKWALL, TX 75082



DATE:

7/14/2023

SCALE:

1/4"=1'

SHEET:

7



DATE:

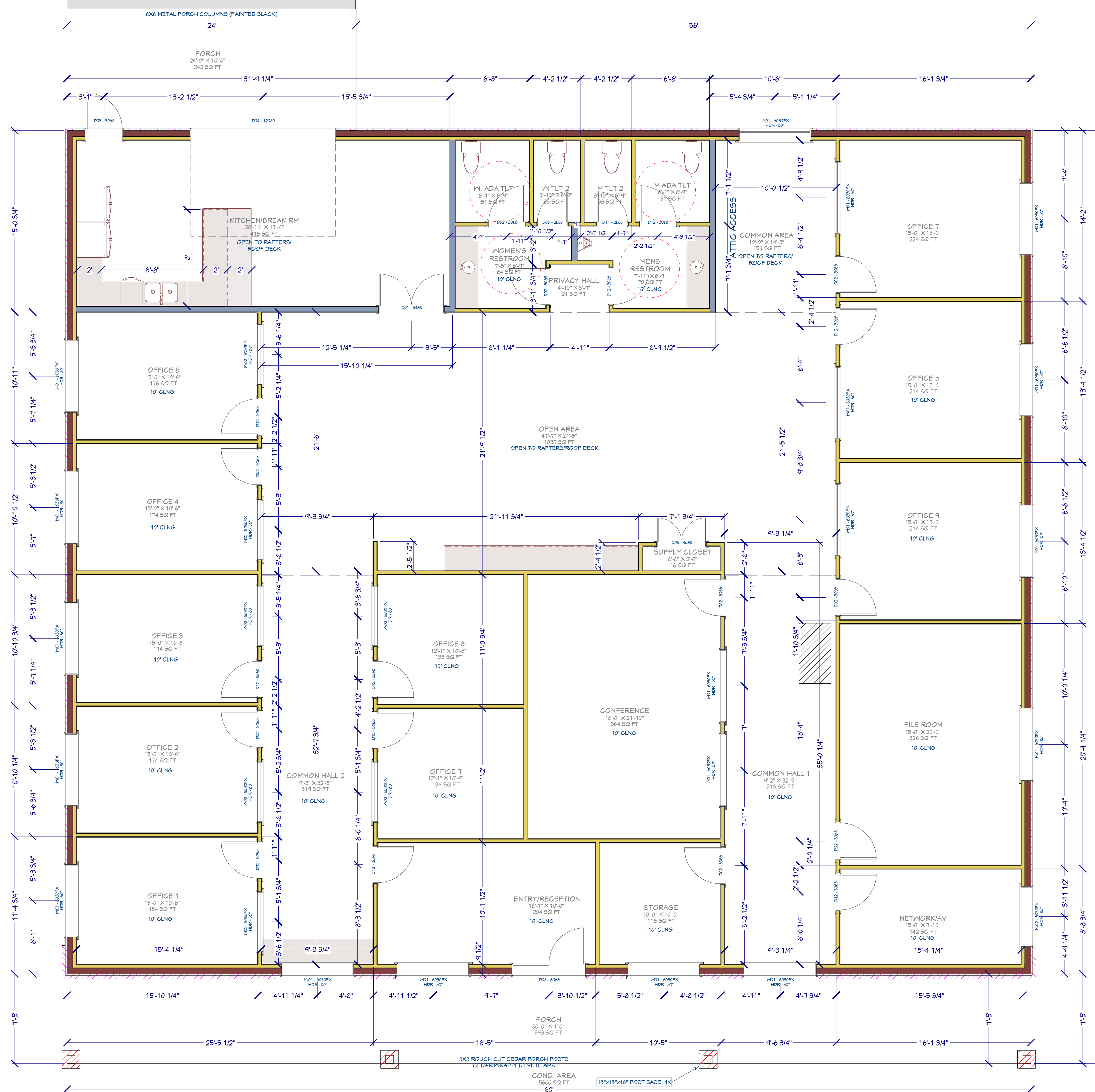
7/14/2023

SCALE:

1/4"=1'

SHEET:

8



ROOM AREA/CEILING SCHEDULE (UNLESS OTHERWISE SPECIFIED)			
FLOOR	ROOM NAME	AREA, INTERIOR (SQ FT)	CEILING HEIGHT
1	OPEN AREA	1007	N/A
1	FILE ROOM	299	121 1/8"
1	ENTRY/RECEPTION	181	121 1/8"
1	KITCHEN/BREAK RM	424	N/A
1	M TLT 2	26	121 1/8"
1	OFFICE 4	157	121 1/8"
1	M ADA TLT	41	121 1/8"
1	W ADA TLT	41	121 1/8"
1	OFFICE 7	195	121 1/8"
1	OFFICE 6	158	121 1/8"
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1	PRIVACY HALL	18	121 1/8"
1	MENS RESTROOM	62	121 1/8"
1	PORCH	560	104 1/8"
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1	WOMEN'S RESTROOM	57	121 1/8"
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1	SUPPLY CLOSET	13	121 1/8"
1	OFFICE 9	195	121 1/8"
1	OFFICE 8	195	121 1/8"
1	PORCH	234	104 1/8"
TOTALS:		5933	

FRAMING PLAN

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

ELECTRICAL SCHEDULE			
NUMBER	FLOOR	QTY	DESCRIPTION
E01	1	104	RECESSED DOWN LIGHT 6
E02	1	14	RECESSED DOWN LIGHT 4
E03	1	8	SCOPE SCONCE
E04	1	6	CLASSIC CEILING FAN
E05	1	7	SPOTLIGHT 2 MOTION SENSOR
E06	1	6	EXHAUST
E07	1	38	SINGLE POLE

- ADDITIONAL ELECTRICAL ITEMS/NOTES:**
- SOFFIT PLUGS (FOR CHRISTMAS LIGHTS, ETC.) TO BE INSTALLED ON 4 CORNERS OF HOUSE & BETWEEN CORNERS IF SPACING EXCEEDS 50'.
 - UNDER CABINET AND UPPER GLASS BOX CABINET (IF APPLICABLE) TO BE INSTALLED ON ALL KITCHEN CABINETS.
 - MINIMUM 1X (UNLESS OTHERWISE SHOWN), WATERPROOF OUTLET ON ALL PORCHES, NEAR GARAGE DOOR.
 - IF POOL OR HOT TUB IS TO BE INSTALLED, ELECTRICIAN TO PROVISION THE FOLLOWING:
 - 30A 220V FOR POOL
 - 20A 110V FOR POOL ACCESSORIES
 - 50A 220V FOR ELECTRIC HOT TUB
 - ELECTRICIAN TO VERIFY WITH HOMEOWNER IF 50A/220V BACKUP GENERATOR PLUG IS REQUIRED.
 - ELECTRICIAN TO VERIFY HVAC POWER REQUIREMENTS WITH BUILDER PRIOR TO ELECTRICAL ROUGH-IN.
 - DATA/AUDIO/VIDEO/SECURITY WIRING INFO. MAY NOT BE SHOWN ON ELECTRICAL PLAN, BUILDER TO VERIFY REQUIREMENTS WITH HOMEOWNER.
 - SECURITY LIGHTS (MINIMUM 3X) TO BE INSTALLED AT LOCATIONS TO BE DEFINED BY HOMEOWNER.
 - FLOOR OUTLETS AND ISLAND WIRING CONDUIT (IF APPLICABLE) MUST BE PROVISIONED PRIOR TO SLAB CONSTRUCTION.

- ELECTRICAL, DATA, & AUDIO NOTES:**
 HOME OWNER SHALL DO A WALK-THRU WITH RELEVANT INSTALLERS TO VERIFY THE EXACT LOCATION FOR OUTLETS, LIGHTS, SWITCHES, CABLE, DATA, PHONE, AUDIO, ETC.
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 - CIRCUITS SHALL BE VERIFIED WITH HOME OWNER PRIOR TO WIRE INSTALLATION.
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 - FIXTURES TO BE SELECTED BY HOME OWNER.
- AUDIO:**
- LOCATE SPEAKERS AND AUDIO CONTROLS AS INDICATED IN THE PLAN; RUN CIRCUIT OF SPEAKER WIRING TO AUDIO HOME PANEL SPECIFIED BY FLOOR;
 - AUDIO SPEAKERS TO BE APPROVED BY HOME OWNER;
 - LOCATE JACKS AS INDICATED IN THE PLAN; INSTALL DATA / CABLE PANEL SIMILAR TO "ON Q". SYSTEM TO BE APPROVED BY HOME OWNER.
- DATA / CABLE:**
- LOCATE SECURITY PANELS AS INDICATED IN THE PLAN; SYSTEM TO BE APPROVED BY HOME OWNER.



COND. AREA
5600 SQ. FT.

ELECTRICAL PLAN

CABINET PLAN

TRI-TEX CONSTRUCTION
 INC.
 955 SIDS RD
 ROCKWALL, TX 75082



DATE:

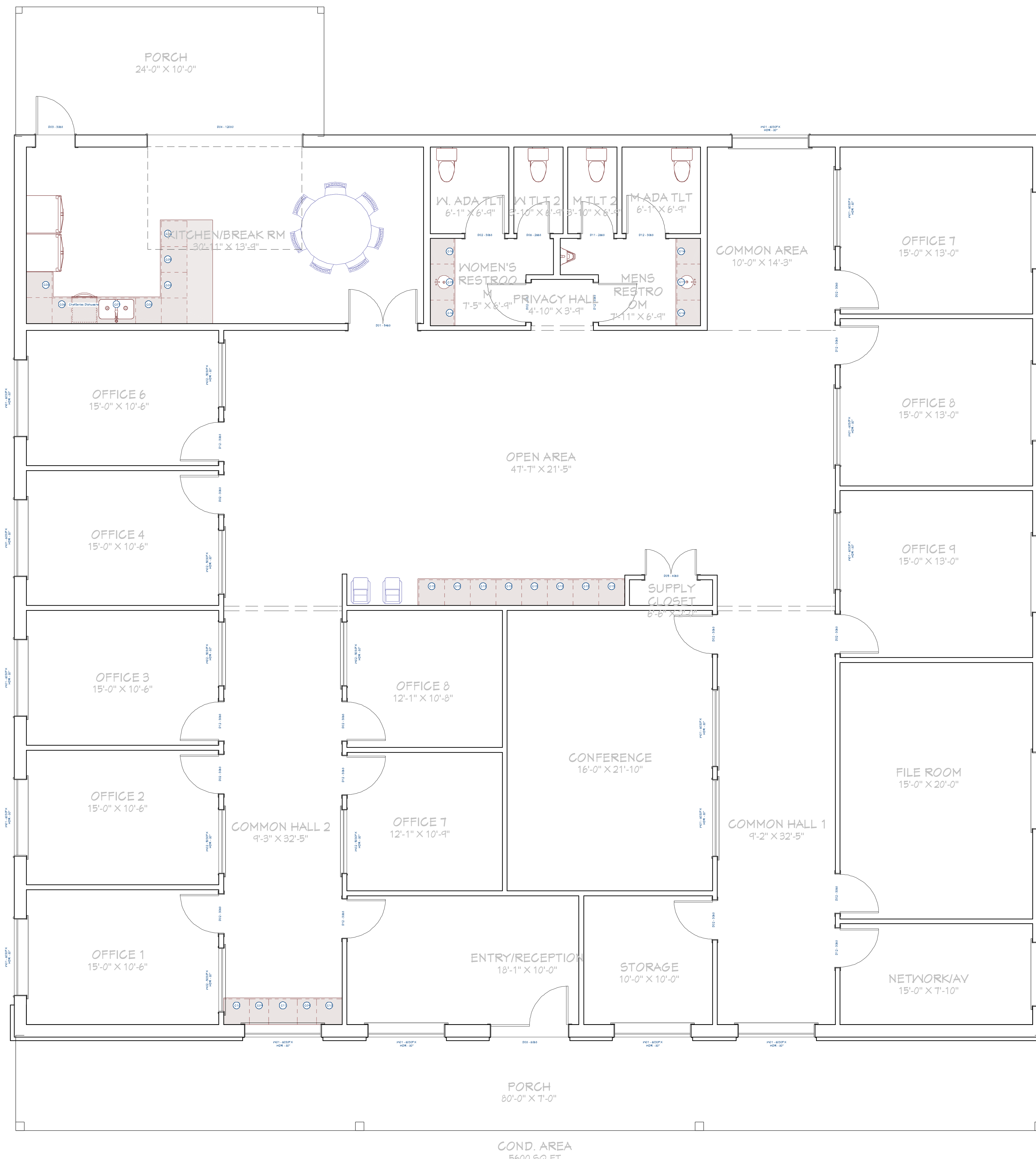
7/14/2023

SCALE:

1/4"=1'

SHEET:

10



- SEE CABINET ELEVATIONS (NEXT SHEET) FOR CONCEPTUAL DOOR/ DRAWER STYLE AND/OR CONFIGURATION
 - DOES NOT INCLUDE CLOSET SHELVES/ROD AND FLOATING OR DECORATIVE SHELVES

CABINET SCHEDULE								
NUMBER	LABEL	QTY	FLOOR	DESCRIPTION	ROOM NAME	WIDTH	DEPTH	HEIGHT
C05	B24R	2	1	BASE CABINET	KITCHEN/BREAK RM	24"	24"	36"
C06	BCB18R	1	1	BASE CABINET	KITCHEN/BREAK RM	18"	24"	36"
C07	SB36	1	1	BASE CABINET	KITCHEN/BREAK RM	36"	24"	36"
C08	BCB24R	3	1	BASE CABINET	KITCHEN/BREAK RM	24"	24"	36"
C09	B18R	2	1	BASE CABINET	COMMON HALL 2	18"	24"	36"
C10	B24R	2	1	BASE CABINET	COMMON HALL 2	24"	24"	36"
C11	B27	1	1	BASE CABINET	COMMON HALL 2	26 9/16"	24"	36"
C13	B24R	8	1	BASE CABINET	OPEN AREA	24"	24"	36"
C14	B2422L	2	1	BASE CABINET	MENS RESTROOM	24"	22"	36"
C15	SB3322	1	1	BASE CABINET	WOMEN'S RESTROOM	33 7/16"	22"	36"
C16	B2422R	2	1	BASE CABINET	WOMEN'S RESTROOM	24"	22"	36"
C17	SB3322	1	1	BASE CABINET	MENS RESTROOM	33 7/16"	22"	36"

CABINET PLAN